



PLANNING AND ZONING
COMMISSION MEETING

AMENDED

TUESDAY, APRIL 23, 2024 | 6:30 PM
COUNCIL CHAMBERS | 1953 MUNICIPAL WAY
(PRE-MEETING AT 6:00PM)

Mike Allen, Chairman
Larry Crawley, Vice Chairman
Brian Binzer

Tommy Ryals
Alan Tanner
Thomas Lamb

Terrill Lane
Kerri Pate
Calvin Rumph

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

[Approval of March 26, 2024 Planning Commission Minutes](#)

AGENDA ITEMS

1. [FP-2023-0169 A Second Resurvey of Lot 2 of Alex Commercial Complex and Unplatted Land](#)

[Address: 9207 Hwy 119 & 9171-9187 Hwy 119](#)

[Owner: Tacala LLC](#)

[Applicant: TTL INC](#)

[PIN: 23 6 14 2 002 013.000 & 23 6 14 2 002 014.000](#)

[Zoning: B-3 \(Community Business District\) & State Route 119 Overlay](#)

[Request: Final Plat to divide 2 Parcels into 2 Parcels \(2 lots into 2 lots\)](#)

2. [RE-2024-0031 Brown's Addition to Norris Lane](#)

[Address: 83 Norris Ln & 1104 Kent Dairy Road](#)

[Owner: Samuel Brown](#)

[Applicant: Samuel Brown](#)

[PIN: 23 5 15 0 001 021.000 & 23 5 15 0 001 021.001](#)

[Zoning: R-3 \(Single Family Residential\)](#)

[Request: Resurvey 2 Parcels into 3 Parcels \(2 lots into 3 lots\)](#)

3. [PP-2024-0038 High Ridge Village Phase 9](#)

[Address: County Road 68 connected to High Ridge Village of Pelham](#)

[Owner: DR Horton Inc](#)

[Applicant: EDG Engineering Design Group](#)

[PIN: 13 7 25 3 001 001.000](#)

Zoning: R-3 (Single Family Residential)

Request: Preliminary Plat approval for High Ridge Village Phase 9

4. RE-2024-0039 Harrison Farms

Address: 201 Wilderness Lane

Owner: Mellory D. Moore

Applicant: Greg Conn

PIN: 23 5 15 0 001 035.009

Zoning: A (Agricultural District)

Request: Resurvey 1 Parcel into 2 Parcel (1 lot into 2 lots)

5. AR-2024-0028 Peavine Crossing Architectural Review

Address: Peavine Crossing

Owner: Peavine Creek Development LLC

Applicant: DR Horton Inc

PIN: 14 9 30 0 000 002.001

Zoning: PRD (Planned Residential Development)

Request: Architectural Review approval for Peavine Crossing

OTHER BUSINESS

The next regularly scheduled meeting date is May 28, 2024

ADJOURN MEETING



MINUTES OF THE ALABASTER
PLANNING AND ZONING
COMMISSION MEETING

TUESDAY, MARCH 26, 2024 | 6:30 PM
COUNCIL CHAMBERS | 1953 MUNICIPAL WAY

I. CALL TO ORDER

Meeting called to order at 6:30 p.m.

II. ROLL CALL

PRESENT

Brian Binzer
Kerri Pate
Calvin Rumph
Tommy Ryals
Mike Allen

ABSENT

Larry Crawley
Thomas Lamb
Terrill Lane
Alan Tanner

Staff Present

Vanessa McGrath, City Planner
Kim Brothers, Planning and Zoning Coordinator

III. APPROVAL OF MINUTES

a. Approval of February 27, Planning Commission Minutes

Motion made by Rumph, Seconded by Ryals.
Voting Yea: Binzer, Pate, Rumph, Ryals, Allen

Minutes adopted as amended

IV. AGENDA ITEMS

1. PP-2023-0099 - Alabaster South Business Park

Address: Alabaster South Business Park
Owner: Edwin Lumpkin B JR
Applicant: ESP Associates

PIN: 22 5 21 3 001 005.000

Zoning: M1 (Light Industrial District)

Request: Requesting Preliminary Plat approval for a 20 lot Light Industrial Park Development.

Ms. Vanessa McGrath reviewed the request.

Mr. Zachary Maher with ESP Associates presented the request. A variance was received last year. They are seeking approval for a preliminary plat for an extension to Alabaster Business Park. The owners intent is that buildings and lots adhere to existing development.

The Public Hearing was opened.

Mr. Dave Wood represents the adjoining landowner. He has existing concerns with future development and how it will effect water flow. The existing drainage structure is not sufficient and would like to make sure future development water retention remains onsite.

Mr. Maher addressed his concerns regarding storm water management.

Continued discussion regarding flooding concerns.

The Public Hearing was closed.

Motion made by Ryals, Seconded by Pate.

Voting Yea: Binzer, Pate, Rumph, Ryals, Allen

Preliminary plat was approved as submitted.

2. RZ-2024-0024 612 6th Ave SW

Address: 612 6th Ave SW

Owner: Silva Melba Diaz

Applicant: Silva Melba Diaz

PIN: 23 1 02 2 001 042.000

Zoning: B-3 (Community Business District)

Request: Rezone property from B-3 (Community Business District) to R-3 (Single Family Residential)

Ms. Vanessa McGrath reviewed the request.

Melba Diaz Silva was present to represent the request. Her family lives in Hueytown and would like to move to Alabaster for her daughter to attend Alabaster Schools.

Ms. Kerri Pate asked when she originally applied was her intent the same as it is now for a residence. Ms. Silva addressed her question and said her initial intent was to rent it.

Continued discussion on the surrounding zonings.

The Public Hearing was opened.

The Public Hearing was closed.

Motion made by Pate, Seconded by Rumph.

Voting Yea: Allen

Voting Nay: Binzer, Pate, Rumph, Ryals

The rezone request was sent to the City Council with a Non-favorable recommendation.

3. AR-2024-0028 Peavine Crossing Architectural Review

Address: Peavine Crossing

Owner: Peavine Creek Development LLC

Applicant: DR Horton Inc

PIN: 14 9 30 0 000 002.001

Zoning: PRD (Planned Residential Development)

Request: Architectural Review approval for Peavine Crossing

Ms. Vanessa McGrath reviewed the request.

Mr. Andrew French and Mr. Ty Goddard presented a request for Peavine Crossing Architectural Review.

The Planning Commission is requesting changes to the plans. There were discussions on some of the changes they would like to see. Plans will be resubmitted for review.

Motion to continue Architectural Review to next month.

Motion made by Pate, Seconded by Rumph.

Voting Yea: Binzer, Pate, Rumph, Ryals, Allen

V. OTHER BUSINESS

1. Review the required notification items for each type of Planning and Zoning Commission cases.

Ms. McGrath reviewed the notification items. Discussion on current mailouts for pre-zone and rezone were discussed. Ms. McGrath asked if the Commission would vote on allowing pre-zone and rezone to be first class mailing instead of registered/certified mail. Chairman Allen said the consensus is adjacent property owners with a sign and US mail for 250 ft instead of registered mail.

Motion made by Pate, Seconded by Ryals.

Voting Yea: Binzer, Pate, Rumph, Ryals, Allen

Motion to approve changes to mailing practices for Prezone and Rezones.

Planning Commission discussed dates for CAPZO training. And would like to do them in August or September.

2. Discussion of the boundaries for the State Route 119

Nothing to present to the City Council at this time.

3. The next regularly scheduled meeting date is April 23, 2024

VI. ADJOURN MEETING

Motion made by Pate, Seconded by Binzer.

Voting Yea: Binzer, Pate, Rumph, Ryals, Allen

Meeting was adjourned at 8:09 p.m.

Michael R. Allen, Chairman

Vanessa McGrath, Secretary



PLANNING AND ZONING COMMISSION
PUBLIC HEARING

April 11, 2024

NOTICE TO THE CITIZENS OF
ALABASTER

The Planning and Zoning Commission of the City of Alabaster will hold a public hearing on **Tuesday, April 23, 2024, at 6:30 P.M.** A pre-meeting will be held at 6:00 P.M. The meeting will be held at the Administration Building, Council Chambers, located at 1953 Municipal Way to consider the following:

Final Plat

CASE NUMBER: FP-2023-0169

OWNER: TACALA LLC

APPLICANT: TTL INC

LOCATION: 9207 HWY 119 & 9171-9187 HWY 119

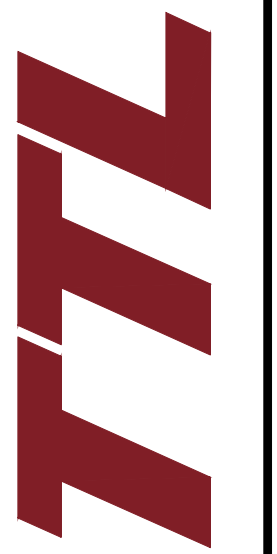
PARCEL IDENTIFICATION: 23 6 14 2 002 013.000 & 23 6 14 2 002 014.000

ZONING: B-3 (COMMUNITY BUSINESS DISTRICT) & STATE ROUTE 119 OVERLAY

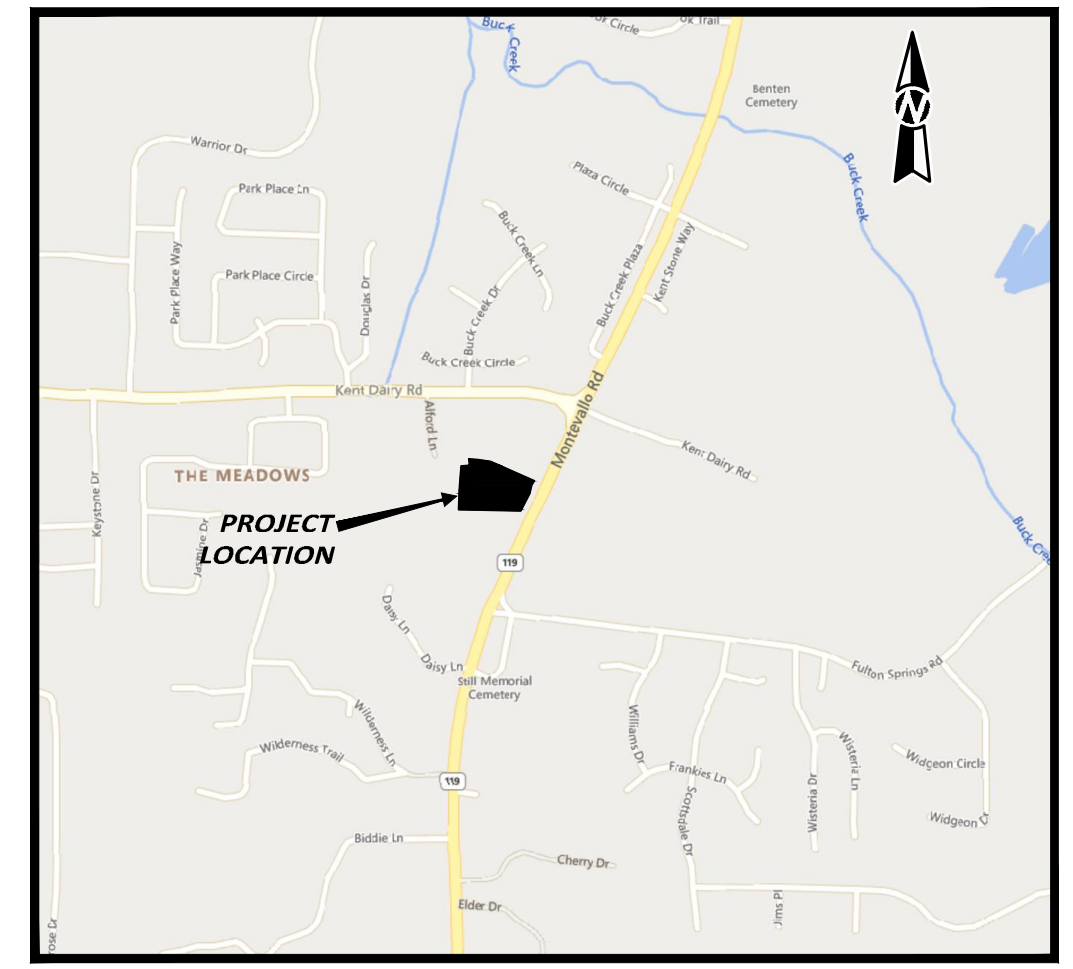
REQUEST: FINAL PLAT TO DIVIDE 2 PARCELS INTO 2 PARCELS (2 LOTS INTO 2 LOTS)



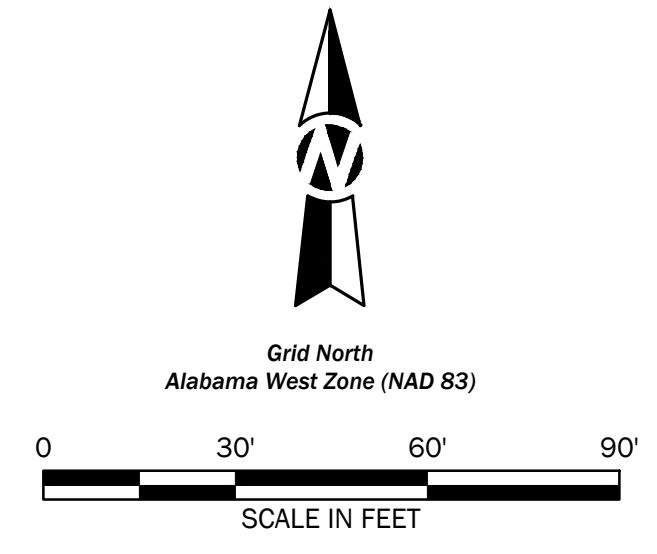
You are receiving this notice because you are an adjacent property owner. Your attendance is not required, however, if you desire to speak in favor of or in opposition to this request this is your opportunity to do so. Please email (or call) Vanessa McGrath at vmcgrath@cityofalabaster.com (205-664-6823, ext. 1112) for more information on this case.



3516 Greensboro Avenue | Tuscaloosa, AL 35401
205.345.0816 | www.ttlusa.com



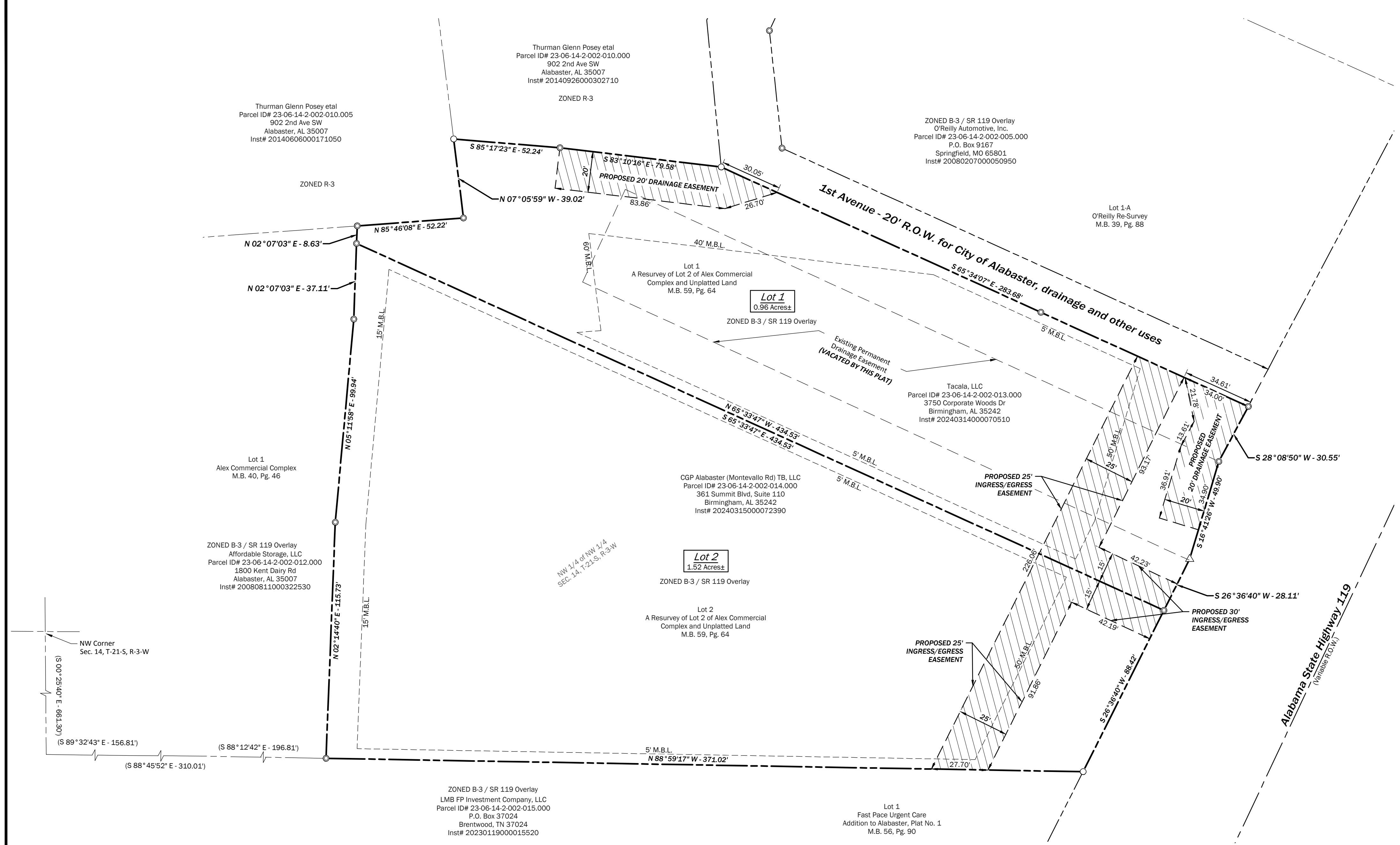
VICINITY MAP
NO SCALE



SURVEY LEGEND

---	EXISTING BOUNDARY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING PROPERTY LINE
---	EXISTING SUBDIVISION LOT LINE
○	IRON PIPE / PIN FOUND
○	CAPPED REBAR FOUND
△	CONCRETE MONUMENT SET
○	CONCRETE MONUMENT FOUND
○	AXLE FOUND
○	PINE KNOT FOUND
○	CAPPED REBAR SET
●	SECTION
T	TOWNSHIP
R	RANGE
R.O.W.	RIGHT-OF-WAY
M.B.L.	MINIMUM BUILDING LINE
P.B.	PLAT BOOK
D.B.	DEED BOOK
P.G.	PAGE
()	RECORD DIMENSION

- CITY OF ALABASTER GENERAL NOTES:**
- All easements are for utility and drainage purposes and shall provide needs for both within and without this subdivision.
 - No fences will be allowed to obstruct the flow of storm water.
 - Fencing, if installed on an easement, may be removed at the property owner's expense in order to access any utility easement.
 - Detention / Retention pond maintenance and upkeep will be responsibility of the home owners association or party of ownership.
 - The City of Alabaster is not nor will ever be responsible for the maintenance of easements outside the right-of-way.
 - All decorative signage, lighting, etc. within a subdivision if removed or damaged will be replaced with standard City of Alabaster equipment.
 - The City of Alabaster is located in an area subject to sink holes and limestone formations. The City does not make any guarantee against sink hole or other natural conditions that may exist or occur.



STATE OF ALABAMA)
SHELBY COUNTY)

I, Steven G. Faulkner, a Licensed Professional Land Surveyor of the firm of TTL, Inc., Tuscaloosa, Alabama, hereby certify that we have surveyed the property as shown on this plat, and designated as A SECOND RESURVEY OF LOT 2 OF ALEX COMMERCIAL COMPLEX AND UNPLATTED LAND, being a resurvey of A Resurvey of Lot 2 of Alex Commercial Complex and Unplatted Land, as recorded in the Office of the Judge of Probate of Shelby County, Alabama, in Map Book 59, Page 64, and unplatted land; being located in the Northwest Quarter of the Northwest Quarter of Section 14, Township 21 South, Range 3 West, Shelby County, Alabama; that said plat is a true and correct plat of survey and that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards for Surveying in the State of Alabama to the best of my knowledge, information, and belief.

I further certify that I have consulted the Federal Insurance Rate Map (FIRM) Community Plan, 01117C0379 E, dated, 02/20/2013, Zone X, and found that the above-described parcel DOES NOT lie in a special Hazard zone.

WITNESS my hand this the ___ day of ___, 20__.

PRELIMINARY
Steven G. Faulkner, P.L.S.
Alabama License No. 24329



The undersigned, Tacala, LLC, being the owner of Lot 1, and CGP Alabaster (Montevallo Rd) TB, LLC, being the owner of Lot 2, hereby accept and adopt said survey and plat.
WITNESS our hands and seals on this the ___ day of ___, 20__.

TACALA, LLC
OWNER OF LOT 1

CGP ALABASTER (MONTEVALLO RD) TB, LLC
OWNER OF LOT 2

_____, a Notary Public in and for said County in said _____, whose name as of TACALA, LLC, is signed to this plat, and who is known to me, acknowledged before me on this day that, being informed of the contents of this plat, they executed the same voluntarily for and as act of said organization.

GIVEN under my hand this the ___ day of ___, 20__.
MY COMMISSION EXPIRES: _____
Notary Public

_____, a Notary Public in and for said County in said _____, whose name as of CGP ALABASTER (MONTEVALLO RD) TB, LLC, is signed to this plat, and who is known to me, acknowledged before me on this day that, being informed of the contents of this plat, they executed the same voluntarily for and as act of said organization.

GIVEN under my hand this the ___ day of ___, 20__.
MY COMMISSION EXPIRES: _____
Notary Public

Mayor, City of Alabaster _____ DATE: _____

City Engineer, City of Alabaster _____ DATE: _____

Planning Commission, City of Alabaster _____ DATE: _____

Building Official, City of Alabaster _____ DATE: _____

Fire Official, City of Alabaster _____ DATE: _____

City Clerk, City of Alabaster _____ DATE: _____

Public GASB34 Notes

Acres in Row = 0
Linear Footage of Streets = 0
Linear Footage of Storm = 0
Linear Footage of Sanitary = 0
Linear Footage of Water = 0
Linear Footage of Sidewalks = 0

PROJECT SURVEYOR
TTL, INC.
STEVEN G. FAULKNER
ALABAMA LICENSE NO. 24329
3516 GREENSBORO AVE
TUSCALOOSA, AL 35401

PROJECT ENGINEER
MICHAEL J. GRAY, P.E.
ALABAMA LICENSE NO. 24440
3750 CORPORATE WOODS DRIVE
VESTAVIA HILLS, AL 35242

- NOTES:**
- No title search was performed with this survey.
 - All bearings are to Grid North as established by global positioning, based on ALDOT 3 DIV DIS 5 CORS ARP (PID:DL7329).
2.1. Horizontal Datum: Alabama State Plane, West Zone, NAD83(2011), U.S. Feet
2.1. Vertical Datum: NAVD88, U.S. Feet
 - Sources of Title: Inst# 20240314000070510 (Lot 1)
Inst# 20240315000072390 (Lot 2)
 - Current Zoning: B-3 (Community Business District)
SR 119 Overlay
 - Setbacks: Min Building Front- 20'
Max Building Front- 100' ***
Min. Building Rear- 5' (adjacent to non-residential)
20' (adjacent to residential)
Min Building Side- 5'
- *** Variance to 100' received by BZA on January 9, 2024.
- No part of this property lies within a special flood hazard area from information as depicted on FEMA Flood Panel 01117C0379 E, revised February 20, 2013.
 - Total Area of Property of Subdivision 2.48± Acres.
 - Total Area of Property is 2.48± Acres.
 - Owners/Developers of property being subdivided:
Lot 1 Tacala, LLC
3750 Corporate Woods Dr
Vestavia Hills, AL 35242
Lot 2 CGP Alabaster (Montevallo Rd) TB, LLC
361 Summit Blvd, Suite 110
Birmingham, AL 35242
 - Property located in the NW 1/4 of the NW 1/4 of Section 14, Township 21 South, Range 3 West in Shelby County, Alabama.

A Second Resurvey of Lot 2 of Alex Commercial Complex and Unplatted Land

PRELIMINARY
(NOT FOR CONSTRUCTION,
RECORDING PURPOSES
OR IMPLEMENTATION)

Sheet Title
Resurvey Plat

No.	Date	Revision Description


Drawn By: E.M.H. | Checked By: S.G.F.
Date Drawn: 03/20/2024 | Date Surveyed: 10/23/03/24
Scale: 1" = 30' | Proj. No.: 23-01-02427-00
File Name: 23-2427-FinalPlat2.dwg

9171 and 9270 Highway 119
Alabaster, Shelby County, Alabama



PLANNING AND ZONING COMMISSION
April 12, 2024
STAFF REPORT

CASE NUMBER	ZONING/REGULATIONS ANALYSIS																
FP-2023-0169	ALDOT still has not released the easement so this approval will be contingent on the approval of ALDOT and can not be recorded until that happens.																
PROJECT NAME																	
A Second Resurvey of Lot 2 of Alex Commercial Complex and Unplatted L																	
SITE DATA																	
2.30 acres																	
REQUEST																	
Final Plat																	
ZONING/DISTRICT																	
B-3 Community Business District & State Route 119 Overlay																	
COMP PLAN FLUM																	
Parcel ID																	
23 6 14 2 002 013.000 & 23 6 14 2 002 014.000																	
LOCATION																	
9171-9207 Hwy 119																	
ENGINEER																	
TTL																	
OWNER/DEVELOPER																	
Tacala, LLC																	
DESCRIPTION OF USE																	
Tacala Alabaster Final Plat																	
	<table border="1"> <thead> <tr> <th><i>DIRECTION</i></th> <th><i>ADJACENT LAND USE</i></th> <th><i>ZONING</i></th> </tr> </thead> <tbody> <tr> <td><i>N</i></td> <td></td> <td><i>B-3 & R-3</i></td> </tr> <tr> <td><i>E</i></td> <td></td> <td><i>B-3</i></td> </tr> <tr> <td><i>S</i></td> <td></td> <td><i>B-3</i></td> </tr> <tr> <td><i>W</i></td> <td></td> <td><i>B-3 & R-3</i></td> </tr> </tbody> </table>		<i>DIRECTION</i>	<i>ADJACENT LAND USE</i>	<i>ZONING</i>	<i>N</i>		<i>B-3 & R-3</i>	<i>E</i>		<i>B-3</i>	<i>S</i>		<i>B-3</i>	<i>W</i>		<i>B-3 & R-3</i>
<i>DIRECTION</i>	<i>ADJACENT LAND USE</i>	<i>ZONING</i>															
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<i>E</i>		<i>B-3</i>															
<i>S</i>		<i>B-3</i>															
<i>W</i>		<i>B-3 & R-3</i>															
	NEXT STEPS IF RECOMMENDED																
	Obtain ALDOT release Obtain signatures Record mylar																

	<p>PLANNING AND ZONING COMMISSION April 11, 2024 STAFF REPORT</p>															
<p>CASE NUMBER</p>	<p>ZONING/REGULATIONS ANALYSIS</p>															
<p>RE-2024-0031</p>	<p>The proposed lots meet the zoning requirements. Lot 3 will be accessed off of Norris lane and survey will show the ingress and egress easement that is used to access the property.</p>															
<p>PROJECT NAME</p>	<table border="1"> <thead> <tr> <th><i>DIRECTION</i></th> <th><i>ADJACENT LAND USE</i></th> <th><i>ZONING</i></th> </tr> </thead> <tbody> <tr> <td><i>N</i></td> <td></td> <td><i>R-3</i></td> </tr> <tr> <td><i>E</i></td> <td></td> <td><i>R-3</i></td> </tr> <tr> <td><i>S</i></td> <td></td> <td><i>County</i></td> </tr> <tr> <td><i>W</i></td> <td></td> <td><i>R-3 & County</i></td> </tr> </tbody> </table>	<i>DIRECTION</i>	<i>ADJACENT LAND USE</i>	<i>ZONING</i>	<i>N</i>		<i>R-3</i>	<i>E</i>		<i>R-3</i>	<i>S</i>		<i>County</i>	<i>W</i>		<i>R-3 & County</i>
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<i>W</i>		<i>R-3 & County</i>														
<p>Brown’s Addition to Norris Lane</p>	<p>NEXT STEPS IF RECOMMENDED</p>															
<p>SITE DATA</p>	<p>Permit for new house.</p>															
<p>8.91 acres</p>																
<p>REQUEST</p>																
<p>Resurvey</p>																
<p>ZONING/DISTRICT</p>																
<p>R-3 – Single Family Residential</p>																
<p>COMP PLAN FLUM</p>																
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<p>23 3 5 15 0 001 021.000 & 23 5 15 0 001 021.001</p>																
<p>LOCATION</p>																
<p>83 Norris Ln, 1104 Kent Dairy Rd</p>																
<p>SURVEYOR</p>																
<p>Clinkscales Land Surveying, LLC</p>																
<p>OWNER/DEVELOPER</p>																
<p>Samuel W & Debra Brown</p>																
<p>DESCRIPTION OF USE</p>																
<p>Resurvey 2 parcels into 3 parcels (2 lots into 3 lots)</p>																



**PLANNING AND ZONING COMMISSION
PUBLIC HEARING**

April 11, 2024

**NOTICE TO THE CITIZENS OF
ALABASTER**

The Planning and Zoning Commission of the City of Alabaster will hold a public hearing on **Tuesday, April 23, 2024, at 6:30 P.M.** A pre-meeting will be held at **6:00 P.M.** The meeting will be held at the Administration Building, Council Chambers, located at **1953 Municipal Way** to consider the following:

Preliminary Plat

CASE NUMBER: PP-2024-0038

OWNER: D R HORTON INC

APPLICANT: ENGINEERING DESIGN GROUP

LOCATION: COUNTY ROAD 68 CONNECTED TO HIGH RIDGE VILLAGE OF PELHAM

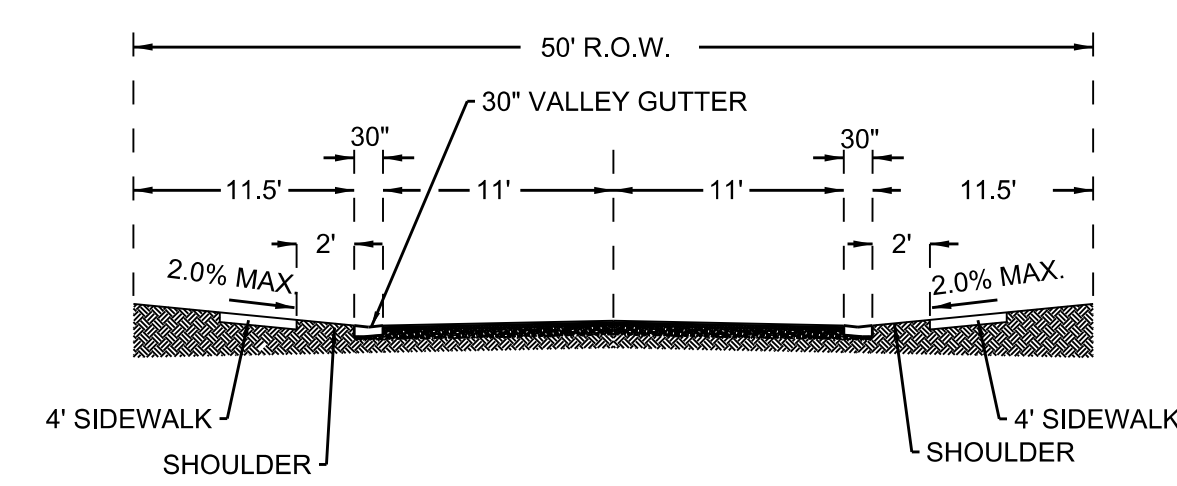
PARCEL IDENTIFICATION: 13 7 25 3 001 001.001

ZONING: R-3 (SINGLE FAMILY RESIDENTIAL)

REQUEST: PRELIMINARY PLAT APPROVAL FOR 8 LOT SUBDIVISION



You are receiving this notice because you are an adjacent property owner. Your attendance is not required, however, if you desire to speak in favor of or in opposition to this request this is your opportunity to do so. Please email (or call) Vanessa McGrath at vmcgrath@cityofalabaster.com (205-664-6823, ext. 1112) for more information on this case.

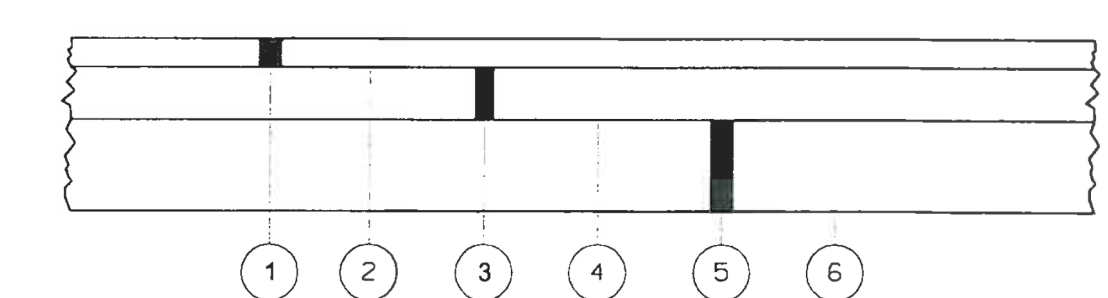


TYPICAL STREET SECTION
NTS

DATUM OF SURVEY NAVD 88
BENCHMARK: 3" OPEN TOP PIPE ELEV. = 532.72
ZONED: R3
TOTAL ACREAGE: 5.7+- AC
TOTAL LOTS: 8
MINIMUM LOT WIDTH: 80'
TYPICAL LOT DEPTH: 125'
MINIMUM LOT AREA: 10,000 SF
TYPICAL BUILDING PAD: 60'X75'
R.O.W.: 50'
SETBACKS: FRONT: 30 FEET
REAR: 20 FEET
SIDE: 10 FEET

TOTAL ACERAGE WITHIN R.O.W.: 0.51 Ac

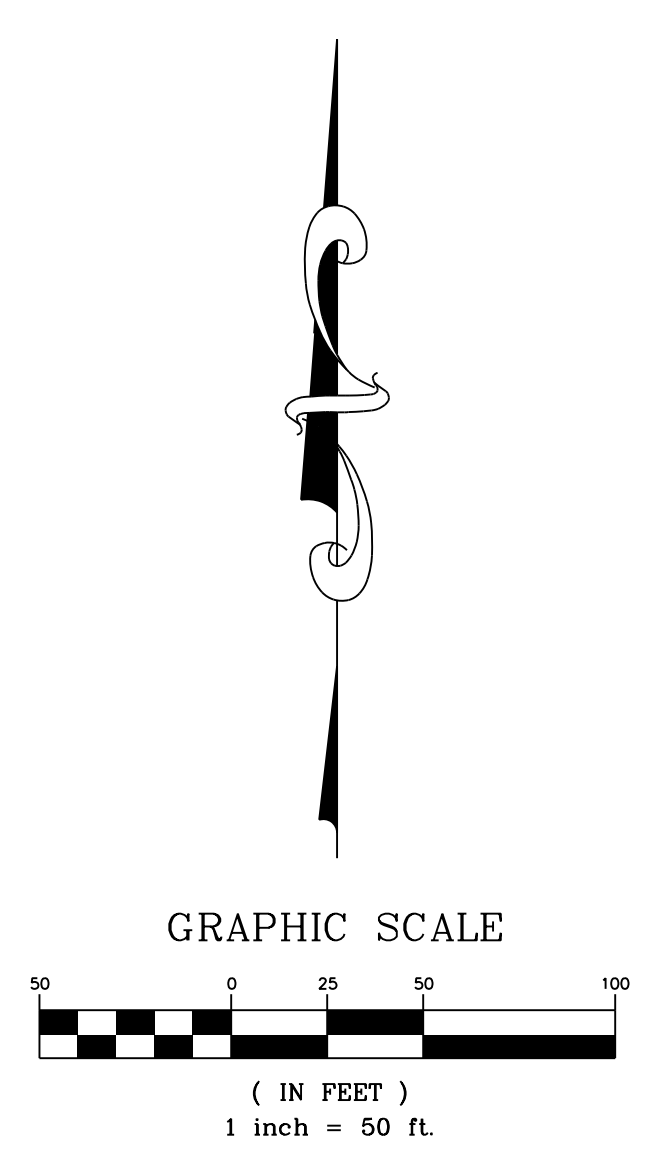
TOTAL LINEAR FOOTAGE:
STREETS - 459 L.F.
SIDEWALK - 1,142 L.F.
VALLEY GUTTER - 805 L.F.
18" CURB AND GUTTER - 55 L.F.
STORM SEWER - 138 L.F.
WATER - 507 L.F. (CITY OF PELHAM)
SEWER - 667 L.F. (CITY OF PELHAM)



- 1 REQUIRED 1" IMPROVED BITUMINOUS CONCRETE WEARING SURFACE LAYER, .75" MAXIMUM AGGREGATE SIZE MIX, ESAL RANGE A, B, AND C (ALDOT SECTION 429)
- 2 REQUIRED TACK COAT (ALDOT 405)
- 3 REQUIRED 2" IMPROVED BITUMINOUS CONCRETE UPPER BINDER LAYER, 1" MAXIMUM AGGREGATE SIZE MIX, ESAL RANGE A, B, AND C (ALDOT SECTION 429)
- 4 REQUIRED BITUMINOUS TREATMENT (PRIME) (ALDOT 401, TYPE A)
- 5 REQUIRED 8" CRUSHED AGGREGATE BASE COURSE, TYPE B, (ALDOT 301 & ALDOT 825)
- 6 SUBGRADE: TOP 24 INCHES - 100% COMPACTION ASTM, UNLESS OTHERWISE SPECIFIED.

DETAIL No.
RD-4

"TYPICAL"
MINIMUM ASPHALT TYPICAL
SECTION (RESIDENTIAL)
SCALE: NONE



- NOTES:
1. THE CITY ENGINEER SHALL BE PROVIDED NOTIFICATION OF WORK AT LEAST 24 HOURS PRIOR TO STARTING EACH PHASE OF WORK.
 2. ALL PERMITS OR APPROVALS BY ADEM, ALDOT, FEMA, CORPS OF ENGINEERS AND OTHERS AS REQUIRED WILL BE OBTAINED PRIOR TO DISTURBING ANY AREAS UNDER JURISDICTION OF SUCH PERMITS.
 3. THERE SHALL BE NO LAND DISTURBING ACTIVITY UNTIL PROOF OF ADEM NOR COVERAGE PROVIDED TO CITY AND ADEQUATE EROSION CONTROL PROVIDED.
 4. PER FEMA FIRMEITE 01117C0218E NO PORTION OF THIS SITE LIES WITHIN THE FLOODPLAIN.

PROJECT ADDRESS:
**SHELBY COUNTY HIGHWAY 68
ALABASTER, AL**

SHEET TITLE:
**SITE PRELIMINARY PLAT
SECTION 25, TOWNSHIP 20 SOUTH,
RANGE 3 WEST, SHELBY COUNTY, AL**

PROJECT NAME:
**HIGH RIDGE VILLAGE
PHASE 9**

DRAWN BY:
CM

CHECKED BY:
JSIII

PROJECT No.:
DRH00062

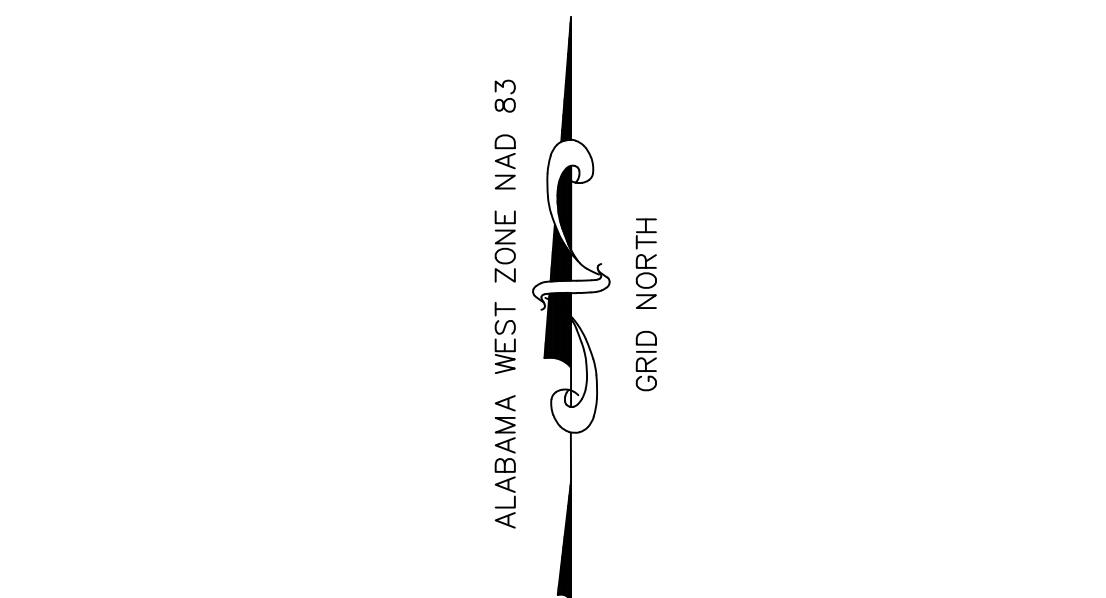
CAD FILE:
C1.0PREPLAT.DGN

DATE:
MARCH 28, 2024

SHEET NO.
C1.0

BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY OF PARCEL NUMBER 13-7-25-3-001-001.001 PELHAM, ALABAMA

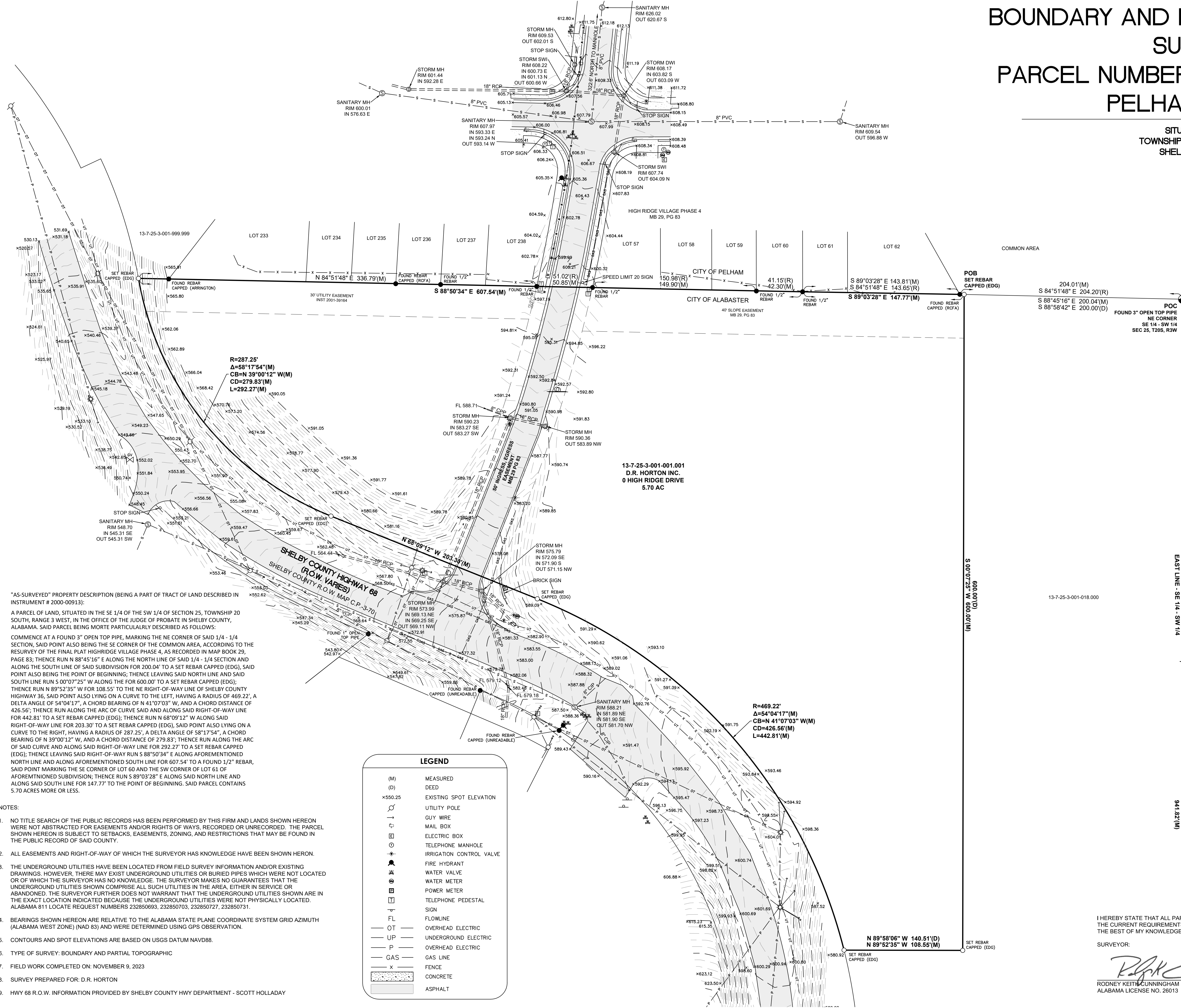
SITUATED IN SECTION 25, TOWNSHIP 20 SOUTH, RANGE 3 WEST, SHELBY COUNTY, ALABAMA



SUBJECT PROPERTY IS A PART OF TRACT OF LAND DESCRIBED BELOW (INSTRUMENT # 2000-00913):

A PARCEL OF LAND LOCATED IN THE SW 1/4 AND THE SE 1/4-NW 1/4 OF SECTION 25, TOWNSHIP 20 SOUTH, RANGE 3 WEST, SHELBY COUNTY, ALABAMA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SE CORNER OF THE NE 1/4-SW 1/4 OF SAID SECTION 25; THENCE NORTH 0°08'19" E ALONG THE EAST LINE OF SAID SECTION FOR A DISTANCE OF 1336.04'; THENCE N 04°30' E ALONG THE EAST LINE OF THE SE 1/4-NW 1/4 A DISTANCE OF 999.67'; THENCE N 88°08'06" W A DISTANCE OF 728.62'; THENCE S 23°26'16" W A DISTANCE OF 660.03'; THENCE N 74°43'35" W A DISTANCE OF 130.0'; THENCE S 15°16'25" W A DISTANCE OF 445.17' TO A POINT LYING ON THE SOUTH LINE OF SAID 1/4-SW 1/4 SECTION; THENCE N 88°56'54" W ALONG SAID 1/4-SW 1/4 SECTION A DISTANCE OF 123.35'; THENCE S 1°04'48" W A DISTANCE OF 121.73'; THENCE N 88°46'16" W A DISTANCE OF 41.40'; THENCE S 15°36'51" W A DISTANCE OF 133.03'; THENCE S 88°46'16" E A DISTANCE OF 195.56'; THENCE S 1°09'56" W A DISTANCE OF 54.23'; THENCE S 88°54'16" E A DISTANCE OF 36.96'; THENCE S 15°49'05" W A DISTANCE OF 669.31' TO A POINT LYING ON THE NORTHERLY RIGHT OF WAY LINE OF SHELBY COUNTY HIGHWAY #68 (VARIABLE RIGHT OF WAY); THENCE S 63°47'20" E ALONG SAID RIGHT OF WAY LINE A DISTANCE OF 180.63' TO THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 450.0' AND SUBTENDED BY A CHORD WHICH BEARS S 48°08'14" EA CHORD DISTANCE OF 242.81'; THENCE ALONG THE ARC OF SAID CURVE AND SAID RIGHT OF WAY LINE A DISTANCE OF 245.85' TO A POINT; SAID POINT BEING THE INTERSECTION OF THE NORTHERLY RIGHT OF WAY OF SAID SHELBY COUNTY HIGHWAY #68 AND THE CENTERLINE OF WILSON ROAD; SAID POINT ALSO LYING ON A CURVE TO THE LEFT HAVING A RADIUS OF 60.0' AND SUBTENDED BY A CHORD WHICH BEARS N 5°16'10" E A CHORD DISTANCE OF 26.51'; THENCE ALONG THE ARC OF SAID CURVE AND SAID CENTERLINE, A DISTANCE OF 26.73' TO THE END OF AFORESAID CURVE AND THE BEARING OF A CURVE TO THE LEFT HAVING A RADIUS OF 286.22' AND SUBTENDED BY A CHORD WHICH BEARS N 16°29'42" W A CHORD DISTANCE OF 89.56'; THENCE ALONG THE ARC OF SAID CURVE AND SAID CENTERLINE A DISTANCE OF 89.93' TO THE END OF SAID CURVE; THENCE N 25°29'47" W ALONG THE APPROXIMATE CENTERLINE OF SAID WILSON ROAD A DISTANCE OF 86.32'; THENCE N 71°49'59" W ALONG SAID APPROXIMATE CENTERLINE A DISTANCE OF 100.44'; THENCE LEAVING SAID CENTERLINE, N 15°36'16" EA DISTANCE OF 188.18'; THENCE S 78°20'53" EA DISTANCE OF 79.09'; THENCE N 15°40'30" EA DISTANCE OF 331.15'; THENCE S 74°19'30" E A DISTANCE OF 210.0'; THENCE S 15°40'30" W A DISTANCE OF 750.0'; THENCE S 85°49'06" W A DISTANCE OF 23.26' TO A POINT LYING ON THE NORTHEASTERLY RIGHT OF WAY LINE OF SHELBY COUNTY HIGHWAY #68; SAID POINT ALSO LYING ON A REVERSE COMPOUND CURVE TO THE RIGHT HAVING A RADIUS OF 450.0' AND SUBTENDED BY A CHORD WHICH BEARS S 17°56'56" E A CHORD DISTANCE OF 60.02'; THENCE ALONG THE ARC OF SAID CURVE AND SAID RIGHT OF WAY LINE A DISTANCE OF 60.06' TO THE END OF AFORESAID CURVE AND THE BEGINNING OF SAID COMPOUND CURVE TO THE LEFT HAVING A RADIUS OF 431.63' AND SUBTENDED BY A CHORD WHICH BEARS S 26°18'25" EA CHORD DISTANCE OF 182.17'; THENCE ALONG THE ARC OF SAID CURVE AND SAID RIGHT OF WAY LINE A DISTANCE OF 183.55' TO THE END OF AFORESAID CURVE AND THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 260.68' AND SUBTENDED BY A CHORD WHICH BEARS S 52°22'08" EA CHORD DISTANCE OF 125.07'; THENCE ALONG THE ARC OF SAID CURVE AND SAID RIGHT OF WAY LINE A DISTANCE OF 126.30' TO THE END OF SAID CURVE; THENCE S 66°14'55" E ALONG SAID RIGHT OF WAY LINE A DISTANCE OF 230.64' TO THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 442.50' AND SUBTENDED BY A CHORD WHICH BEARS S 40°03'20" E A CHORD DISTANCE OF 390.64'; THENCE ALONG THE ARC OF SAID CURVE AND SAID RIGHT OF WAY LINE A DISTANCE OF 404.59'; THENCE LEAVING SAID RIGHT OF WAY LINE S 89°58'06" E A DISTANCE OF 140.51'; THENCE N 0°01'54" E ALONG A LINE 200.0' WEST OF AND PARALLEL TO THE EAST LINE OF THE SE 1/4-SW 1/4 OF SECTION 25, A DISTANCE OF 600.0'; THENCE S 88°58'42" E A DISTANCE OF 200.0' TO THE POINT OF BEGINNING, CONTAINING 64.05 ACRES, MORE OR LESS.



"AS-SURVEYED" PROPERTY DESCRIPTION (BEING A PART OF TRACT OF LAND DESCRIBED IN INSTRUMENT # 2000-00913):

A PARCEL OF LAND, SITUATED IN THE SE 1/4 OF THE SW 1/4 OF SECTION 25, TOWNSHIP 20 SOUTH, RANGE 3 WEST, IN THE OFFICE OF THE JUDGE OF PROBATE IN SHELBY COUNTY, ALABAMA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A FOUND 3" OPEN TOP PIPE, MARKING THE NE CORNER OF SAID 1/4 - 1/4 SECTION, SAID POINT ALSO BEING THE SE CORNER OF THE COMMON AREA, ACCORDING TO THE RESURVEY OF THE FINAL PLAT HIGH RIDGE VILLAGE PHASE 4, AS RECORDED IN MAP BOOK 23, PAGE 83; THENCE RUN N 88°45'16" E ALONG THE NORTH LINE OF SAID 1/4 - 1/4 SECTION AND ALONG THE SOUTH LINE OF SAID SUBDIVISION FOR 200.04' TO A SET REBAR CAPPED (EDG), SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE LEAVING SAID NORTH LINE AND SAID SOUTH LINE RUN S 00°07'25" W ALONG THE FOR 600.00' TO A SET REBAR CAPPED (EDG); THENCE RUN N 89°52'35" W FOR 108.55' TO THE NE RIGHT-OF-WAY LINE OF SHELBY COUNTY HIGHWAY 36, SAID POINT ALSO LYING ON A CURVE TO THE LEFT, HAVING A RADIUS OF 469.22', A DELTA ANGLE OF 54°04'17", A CHORD BEARING OF N 41°07'03" W, AND A CHORD DISTANCE OF 426.56'; THENCE RUN ALONG THE ARC OF CURVE SAID AND ALONG SAID RIGHT-OF-WAY LINE FOR 442.81' TO A SET REBAR CAPPED (EDG); THENCE RUN N 60°09'12" W ALONG SAID RIGHT-OF-WAY LINE FOR 203.30' TO A SET REBAR CAPPED (EDG), SAID POINT ALSO LYING ON A CURVE TO THE RIGHT, HAVING A RADIUS OF 287.25', A DELTA ANGLE OF 58°17'54", A CHORD BEARING OF N 39°00'12" W, AND A CHORD DISTANCE OF 279.83'; THENCE RUN ALONG THE ARC OF SAID CURVE AND ALONG SAID RIGHT-OF-WAY LINE FOR 292.27' TO A SET REBAR CAPPED (EDG); THENCE LEAVING SAID RIGHT-OF-WAY LINE S 88°50'34" E ALONG AFOREMENTIONED NORTH LINE AND ALONG AFOREMENTIONED SOUTH LINE FOR 607.54' TO A FOUND 1/2" REBAR, SAID POINT MARKING THE SE CORNER OF LOT 60 AND THE SW CORNER OF LOT 61 OF AFOREMENTIONED SUBDIVISION; THENCE RUN S 89°03'28" E ALONG SAID NORTH LINE AND ALONG SAID SOUTH LINE FOR 147.77' TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 5.70 ACRES MORE OR LESS.

- NOTES:
- NO TITLE SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY THIS FIRM AND LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAYS, RECORDED OR UNRECORDED. THE PARCEL SHOWN HEREON IS SUBJECT TO SETBACKS, EASEMENTS, ZONING, AND RESTRICTIONS THAT MAY BE FOUND IN THE PUBLIC RECORD OF SAID COUNTY.
 - ALL EASEMENTS AND RIGHT-OF-WAY OF WHICH THE SURVEYOR HAS KNOWLEDGE HAVE BEEN SHOWN HEREON.
 - THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS; HOWEVER, THERE MAY EXIST UNDERGROUND UTILITIES OR BURIED PIPES WHICH WERE NOT LOCATED OR OF WHICH THE SURVEYOR HAS NO KNOWLEDGE. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED BECAUSE THE UNDERGROUND UTILITIES WERE NOT PHYSICALLY LOCATED. ALABAMA 811 LOCATE REQUEST NUMBERS 232850693, 232850703, 232850727, 232850731.
 - BEARINGS SHOWN HEREON ARE RELATIVE TO THE ALABAMA STATE PLANE COORDINATE SYSTEM GRID AZIMUTH (ALABAMA WEST ZONE) (NAD 83) AND WERE DETERMINED USING GPS OBSERVATION.
 - CONTOURS AND SPOT ELEVATIONS ARE BASED ON USGS DATUM NAVD88.
 - TYPE OF SURVEY: BOUNDARY AND PARTIAL TOPOGRAPHIC
 - FIELD WORK COMPLETED ON: NOVEMBER 9, 2023
 - SURVEY PREPARED FOR: D.R. HORTON
 - HWY 68 R.O.W. INFORMATION PROVIDED BY SHELBY COUNTY HWY DEPARTMENT - SCOTT HOLLADAY

LEGEND	
(M)	MEASURED
(D)	DEED
x550.25	EXISTING SPOT ELEVATION
○	UTILITY POLE
—○—	GUY WIRE
□	MAIL BOX
□	ELECTRIC BOX
○	TELEPHONE MANHOLE
—○—	IRRIGATION CONTROL VALVE
—○—	FIRE HYDRANT
—○—	WATER VALVE
—○—	WATER METER
—○—	POWER METER
□	TELEPHONE PEDESTAL
—○—	SIGN
FL	FLOWLINE
—○—	OVERHEAD ELECTRIC
—○—	UNDERGROUND ELECTRIC
—○—	OVERHEAD ELECTRIC
—○—	GAS LINE
x	FENCE
■	CONCRETE
■	ASPHALT

I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

SURVEYOR:

Rodney Keith Cunningham
 RODNEY KEITH CUNNINGHAM
 ALABAMA LICENSE NO. 26013

DATE: December 21, 2023



DATE	12-19-2023
ADDITIONAL TOPOGRAPHY ADDED NORTH OF SURVEY	
REVISIONS	
DRAWN BY: JAT	
CHECKED BY: RKC	
PROJECT No.: DRH00062	
DATE: December 21, 2023	
SCALE: 1" = 40'	
PARCEL NUMBER 13-7-25-3-001-001.001	
PELHAM, ALABAMA	
BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY	
120 BISHOP CIRCLE, SUITE 300 (PELHAM)	
PELHAM, AL 35124	
TEL - (205) 403-9158	
1000 E. LAUREL AVENUE (FOLEY)	
FOLEY, AL. 36555	
(251) 943-6960	
ENGINEERING DESIGN GROUP, LLC	
CIVIL ENGINEERING & LAND SURVEYING	
(205) 403-9158 (251) 943-6960	
SHEET NO.	1 OF 1



March 28 2024

City of Alabaster
1953 Municipal Way
Alabaster, AL 35007

Attn: Brett Tucker, P.E., City Engineer

**Re: Letter of No Adverse Effects
High Ridge Village Phase 9**

Dear Brett,


The enclosed preliminary plat document has been designed such that when constructed according to the plans and specifications, within usual construction tolerances, there will be no adverse effects created for adjacent and/or downstream properties or drainage structures due to this development.

Sincerely,

Engineering Design Group, LLC

A handwritten signature in blue ink, which appears to read "Joseph Schifano III", is written over a horizontal line.

Joseph Schifano, P.E., Alabama License #50298

	PLANNING AND ZONING COMMISSION April 12, 2024 STAFF REPORT															
CASE NUMBER	ZONING/REGULATIONS ANALYSIS															
PP-2024-0038	The lots meet the zoning requirements and plat meets the requirements.															
PROJECT NAME	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 33%;">DIRECTION</th> <th style="width: 33%;">ADJACENT LAND USE</th> <th style="width: 33%;">ZONING</th> </tr> </thead> <tbody> <tr> <td>N</td> <td></td> <td>Pelham</td> </tr> <tr> <td>E</td> <td></td> <td>R-3</td> </tr> <tr> <td>S</td> <td></td> <td>R-3 & B-4</td> </tr> <tr> <td>W</td> <td></td> <td>R-3</td> </tr> </tbody> </table>	DIRECTION	ADJACENT LAND USE	ZONING	N		Pelham	E		R-3	S		R-3 & B-4	W		R-3
DIRECTION	ADJACENT LAND USE	ZONING														
N		Pelham														
E		R-3														
S		R-3 & B-4														
W		R-3														
High Ridge Village Phase 9																
SITE DATA	NEXT STEPS IF RECOMMENDED															
5.76 acres	Construction plans approved Obtain a civil permit Bring Final Plat to the Planning Commission															
REQUEST																
Preliminary Plat																
ZONING/DISTRICT																
R-3 Single Family Residential																
COMP PLAN FLUM																
Parcel ID																
13 7 25 3 001 001.001																
LOCATION																
Hwy 68 and High Ridge Dr																
ENGINEER																
Engineering Design Group																
OWNER/DEVELOPER																
D R Horton Inc																
DESCRIPTION OF USE																
Preliminary Plat for High Ridge Village Phase 9 for 8 lots																



PLANNING AND ZONING COMMISSION
April 12, 2024
STAFF REPORT

CASE NUMBER	ZONING/REGULATIONS ANALYSIS		
RE-2024-0039	The lots meet the zoning requirements and is coming before the Planning Commission for the approval of the easements		
PROJECT NAME			
Harrison Farms			
SITE DATA	<i>DIRECTION</i>	<i>ADJACENT LAND USE</i>	<i>ZONING</i>
1.41 acres	N		A
	E		A
REQUEST	S		A
Resurvey	W		A
ZONING/DISTRICT	NEXT STEPS IF RECOMMENDED		
A Agriculture	Building Permit for a house		
COMP PLAN FLUM			
Parcel ID			
23 5 15 0 001 035.009			
LOCATION			
201 Wilderness Ln			
SURVEYOR			
S M Allen			
OWNER/DEVELOPER			
James H & Dorthy M Moore			
DESCRIPTION OF USE			
2 lot resurvey			

NOTES:

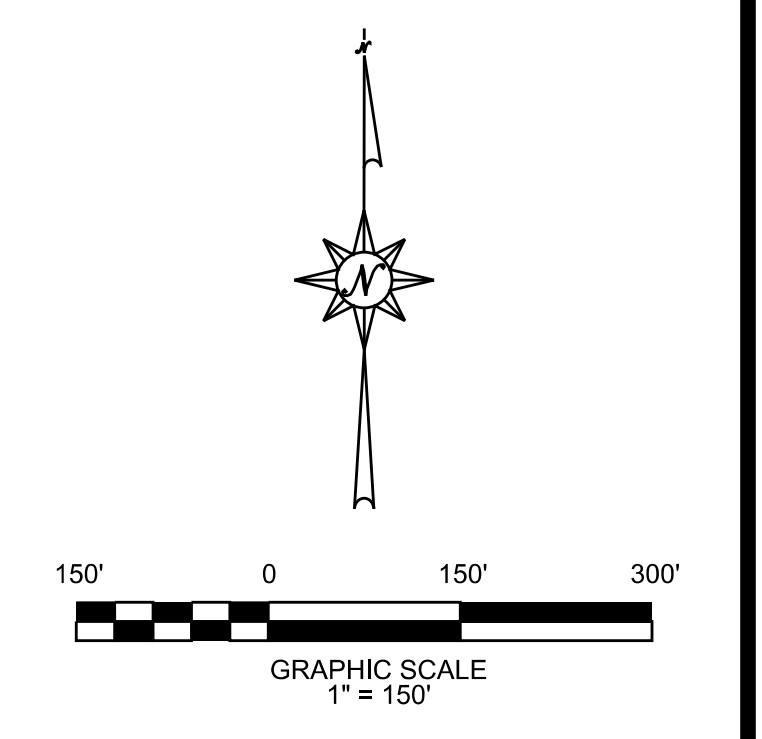
- BOUNDARY AND TOPOGRAPHIC SURVEY OF SUBDIVISION SITE WAS PROVIDED BY RODNEY SHIFLETT SURVEYING AND SOUTHERN RESOURCES MAPPING CORPORATION.
- INSITE ENGINEERING MAKES NO GEOTECHNICAL ASSUMPTIONS OR RESPONSIBILITY FOR SUBGRADE CONDITIONS. ALL GEOTECHNICAL MATTERS SHALL BE ADDRESSED BY A GEOTECHNICAL ENGINEER.
- ALL WORK SHALL COMPLY WITH THE CITY OF ALABASTER'S REGULATIONS AND ALABASTER WATER BOARD REQUIREMENTS.
- JOB SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALABAMA ONE CALL SHALL BE CALLED AND ALL UTILITIES LOCATED 48 HOURS PRIOR TO CONSTRUCTION.
- ALL STORM DRAINAGE PIPE SHALL BE RCP, CLASS III, TONGUE AND GROOVE, CONFORMING TO ASTM C-76. INSTALLED WITH WATERTIGHT JOINTS.
- ALL RIP-RAP SHALL BE CLASS 2 PER THE ALDOT STANDARD SPECIFICATIONS.
- STRIP ALL TOP SOIL WITHIN BUILDING AND PAVEMENT AREAS, AND STOCKPILE FOR LATER USE. DISPOSE OF ANY EXCESS TOPSOIL IN LOCATIONS ON SITE AS DIRECTED BY THE OWNER.
- MATERIAL TO BE USED AS FILL SHALL BE FREE OF ORGANICS WITH NO ROCK PARTICLE SIZE GREATER THAN 6" AND A LIQUID LIMIT NOT EXCEEDING 50 AND A PLASTICITY INDEX OF 25. MATERIAL SHALL ALSO HAVE A MINIMUM STANDARD PROCTOR MAXIMUM DRY DENSITY OF 100 PCF. ROCK FRAGMENTS SHALL COMPOSE NO MORE THAN 40% OF THE FILL MASS.
- A GEOTECHNICAL REPORT WAS NOT PERFORMED FOR THIS SITE.
- CONTRACTOR IS CAUTIONED THAT ALL UTILITIES ON SITE MAY NOT BE SHOWN AND THE UTILITIES SHOWN ARE APPROXIMATE.
- THE MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER SUPPLY LINES AND SANITARY SEWER LINES IS 5 FEET. THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER SUPPLY LINES AND SANITARY SEWER LINES IS 2 FEET.
- ALL UTILITY TRENCHES OUTSIDE OF THE ROADWAY SHALL BE BACKFILLED WITH SUITABLE FILL AND COMPACTED PER ASTM D-698 TO 95% THE MAXIMUM DRY DENSITY WITHIN 2% OF OPTIMUM MOISTURE CONTENT IN 6" LOOSE LIFTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL WATER, SANITARY SEWER, AND STORM SEWER FROM THE MAIN LINE TO THE RIGHT OF WAY LINE.
- DRIVEWAYS WILL BE INSTALLED AFTER THE HOUSE IS POSITIONED ON THE LOT.
- ALL EASEMENTS WITHIN AND WITHOUT SHALL BE FOR ALL UTILITIES USES. ACCESS MAY BE AT THE CITY'S, COUNTY'S, AND UTILITIES DISCRETION.
- ALL EMBANKMENTS SHALL BE INSTALLED IN MAX 10" LIFTS WITH 95% MINIMUM COMPACTION.
- SPEED AND STOP SIGNS SHALL BE INSTALLED PRIOR TO FINAL INSPECTION.
- STOP BAR AND CENTERLINE STRIPING SHALL BE INSTALLED AFTER FINAL SEAL COAT INSTALLATION.
- ALL UTILITIES TO BE INSTALLED UNDERGROUND.
- ALL PONDS, GREEN SPACE, OPEN SPACE, IRRIGATION, LANDSCAPING ETC. TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- ALL EASEMENTS OUTSIDE OF R.O.W. SHALL BE MAINTAINED BY EACH PROPERTY OWNER.
- NO FENCES ALLOWED TO BLOCK DRAINAGE EASEMENTS.
- NO FENCES ALLOWED ON EASEMENTS.
- ALL ITEMS HAVE BEEN DESIGNED IN ACCORDANCE TO THE 2021 EDITION OF THE INTERNATIONAL FIRE CODE AS DIRECTED AND DESCRIBED.
- ALL INTERSECTIONS SHALL HAVE ADA SIDEWALK RAMPS INSTALLED.

ENGINEER
 INSITE ENGINEERING, LLC
 5800 FELDSPAR WAY
 HOOVER, AL 35244
 SURVEYOR
 RODNEY SHIFLETT SURVEYING
 P.O. BOX 204
 COLUMBIANA, ALABAMA 35051
 OWNER
 WESTERN REI, L.L.C.
 3360 DAVEY ALLISON BLVD
 HUEYTOWN, AL 35023

PRELIMINARY PLAT PEAVINE CROSSING

A MASTER PLANNED RESIDENTIAL SUBDIVISION
 SINGLE FAMILY

45.53 ACRES BEING SUBDIVIDED
 PROPERTY LOCATED
 SECTION 36 TOWNSHIP 20 SOUTH RANGE 3 WEST
 SHELBY COUNTY AL



INSITE ENGINEERING
 5800 FELDSPAR WAY
 HOOVER, ALABAMA 35244
 OFFICE (205) 733-0698
 www.insiteengineering.org

CIVIL / GIS
 INFRASTRUCTURE
 ENVIRONMENTAL
 PLANNING
 COMMERCIAL
 RESIDENTIAL

TOTAL ACREAGE = 45.53
 TOTAL LOTS = 149
 TOTAL EQUIVALENT BREAKDOWN = 3.27 LOTS/ACRE

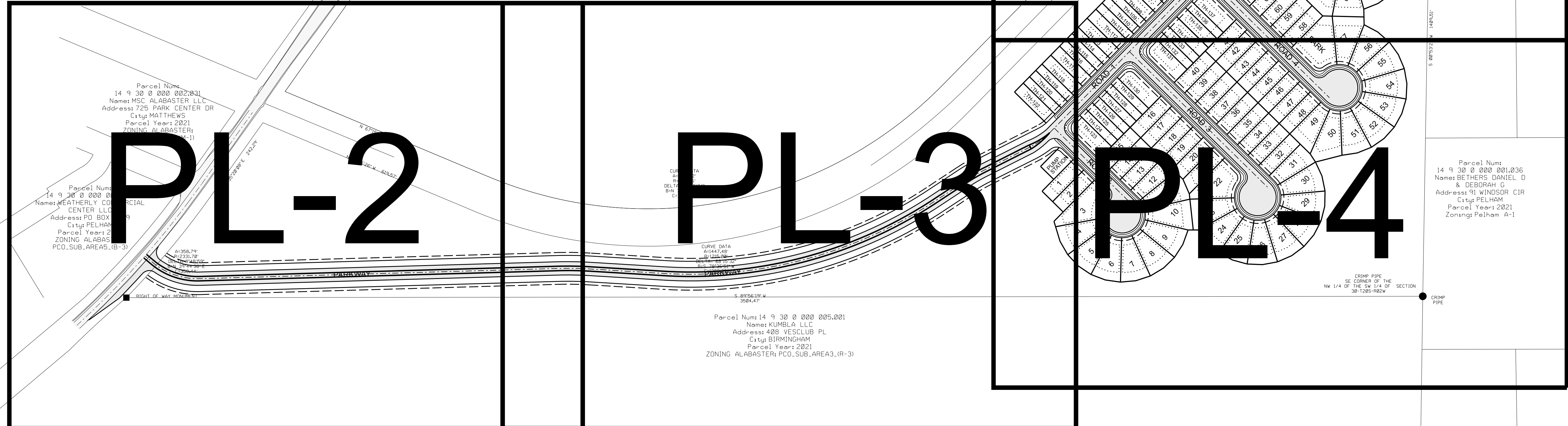
LF ROADS	5335	LF
LF CURBS	11577	LF
LF STORM	4900	LF
LF SANITARY SEWER GRAVITY	2850	LF
LF SANITARY SEWER FORCE MAIN	3200	LF
ACREAGE IN ROW	8.32	ACRES

LEGEND

—	PROPERTY LINE
- - -	EASEMENT LINE
---	SETBACK LINE
---	BUFFER LINE
•	PROPERTY CORNER

PROPERTY LOCATED
 SECTION 36 TOWNSHIP 20 SOUTH
 RANGE 3 WEST
 SHELBY COUNTY AL

PROPERTY ZONED: PDD-1
 ALL LOTS: FRONT YARD SETBACK - 25'
 REAR YARD SETBACK - 20'
 SIDE YARD SETBACK - 5'



CONSTRUCTION PLANS FOR:
PEAVINE CROSSING
 ALABASTER, ALABAMA

REVIEW
 DRAWING
 (NOT FOR CONSTRUCTION)

PROJECT INFO:
 INSITE JOB No. 20054.04
 PLOTTED: 12/29/22

REGISTERED PROFESSIONAL ENGINEER
 JAMES M. CRISDY
 12/28/22

THIS SHEET CONTAINS:
 PRELIMINARY PLAT
 SHEET INDEX

SCALE: 1"= 150'
 SHEET 1 OF 6

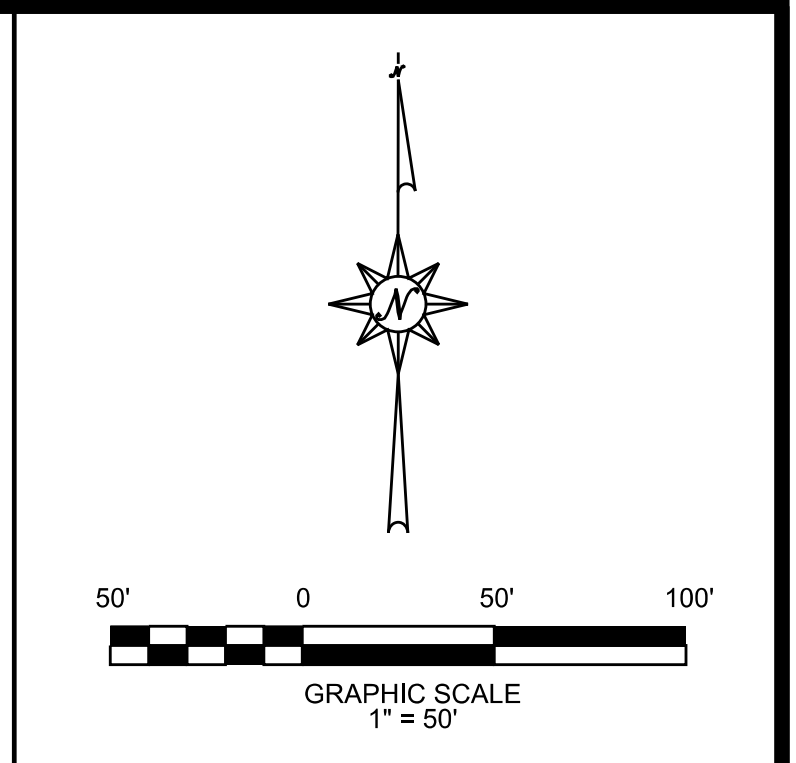
PL-1

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CURVE TABLE					
NAME	RADIUS	CURVE LENGTH	CHORD LENGTH	CHORD BEARING	DELTA
3-1	25.00	35.85	32.86	S 4° 25' 37.70" E	82° 09' 45.07" RT
3-2	63.00	51.80	60.35	S 13° 05' 56.73" W	47° 08' 36.22" LT
4-1	63.00	28.64	28.39	S 23° 28' 59.75" E	26° 02' 36.73" LT
5-1	63.00	28.64	28.39	S 49° 31' 16.47" E	26° 02' 36.73" LT
6-1	63.00	28.64	28.39	S 75° 33' 53.21" E	26° 02' 36.73" LT
7-1	63.00	28.64	28.39	N 78° 23' 30.06" E	26° 02' 36.73" LT
8-1	63.00	28.64	28.39	N 52° 20' 53.33" E	26° 02' 36.73" LT
9-1	63.00	28.64	28.39	N 26° 19' 16.60" E	26° 02' 36.73" LT
10-1	63.00	28.64	28.39	N 0° 15' 39.87" E	26° 02' 36.73" LT
11-1	63.00	28.64	28.39	N 25° 46' 56.86" W	26° 02' 36.73" LT
12-1	63.00	7.37	7.37	N 42° 08' 22.93" W	6° 42' 15.01" LT
22-1	25.00	35.85	32.86	S 4° 25' 37.70" E	82° 09' 45.07" RT
23-1	63.00	42.13	41.38	S 17° 15' 42.03" W	38° 19' 05.02" LT
24-1	63.00	30.04	29.76	S 15° 19' 28.57" E	27° 19' 15.99" LT
24-1	63.00	28.64	28.39	S 42° 00' 24.72" E	26° 02' 36.73" LT
25-1	63.00	28.64	28.39	S 68° 03' 01.46" E	26° 02' 36.73" LT
26-1	63.00	28.64	28.39	N 85° 54' 21.81" E	26° 02' 36.73" LT
27-1	63.00	28.64	28.39	N 59° 51' 45.08" E	26° 02' 36.73" LT
28-1	63.00	28.64	28.39	N 33° 49' 08.35" E	26° 02' 36.73" LT
29-1	63.00	28.64	28.39	N 7° 46' 31.62" E	26° 02' 36.73" LT
30-1	63.00	28.64	28.39	N 18° 16' 05.11" W	26° 02' 36.73" LT
31-1	63.00	15.63	15.59	N 38° 23' 56.85" W	14° 13' 08.75" LT
49-1	63.00	22.79	22.67	S 55° 52' 23.20" E	20° 43' 45.94" LT
50-1	63.00	28.64	28.39	S 79° 15' 34.54" E	26° 02' 36.73" LT
51-1	63.00	28.64	28.39	N 74° 41' 48.73" E	26° 02' 36.73" LT
52-1	63.00	28.64	28.39	N 48° 39' 12.00" E	26° 02' 36.73" LT
53-1	63.00	28.64	28.39	N 22° 36' 35.27" E	26° 02' 36.73" LT
54-1	63.00	28.64	28.39	N 3° 26' 01.46" E	26° 02' 36.73" LT
55-1	63.00	28.64	28.39	N 29° 28' 38.19" W	26° 02' 36.73" LT
56-1	63.00	28.64	28.39	N 55° 31' 14.92" W	26° 02' 36.73" LT
57-1	63.00	29.86	29.59	N 82° 07' 21.38" W	27° 09' 36.19" LT
63-1	63.00	8.48	8.47	S 49° 21' 44.02" E	7° 42' 27.88" LT
64-1	63.00	28.64	28.39	S 66° 14' 16.17" E	26° 02' 36.73" LT
65-1	63.00	28.64	28.39	N 87° 43' 07.10" E	26° 02' 36.73" LT
66-1	63.00	28.64	28.39	N 61° 40' 30.37" E	26° 02' 36.73" LT
67-1	63.00	28.64	28.39	N 35° 31' 53.64" E	26° 02' 36.73" LT
68-1	63.00	28.64	28.39	N 9° 35' 16.91" E	26° 02' 36.73" LT
69-1	63.00	28.64	28.39	N 16° 27' 19.63" W	26° 02' 36.73" LT
70-1	63.00	28.64	28.39	N 42° 29' 55.55" W	26° 02' 36.73" LT
71-1	63.00	79.33	74.15	S 88° 24' 14.89" W	72° 09' 00.39" LT
71-2	25.00	14.24	14.05	S 68° 38' 59.45" W	32° 38' 29.52" RT
74-1	25.00	1.39	1.39	N 46° 05' 04.01" E	3° 11' 08.48" RT
75-1	63.00	39.08	38.46	S 71° 07' 03.21" E	35° 32' 36.10" LT
75-2	25.00	34.49	31.80	N 67° 09' 56.54" E	75° 58' 36.59" RT
76-1	63.00	28.64	28.39	S 73° 10' 39.82" E	26° 02' 36.73" LT
77-1	63.00	28.64	28.39	N 80° 46' 43.45" E	26° 02' 36.73" LT
78-1	63.00	25.88	25.41	N 56° 07' 21.43" E	23° 15' 55.32" LT
TH-122-1	100.00	6.93	6.93	S 46° 28' 36.31" W	3° 58' 13.08" RT
TH-123-1	25.00	39.27	35.36	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-130-1	25.00	39.27	35.36	N 89° 29' 29.77" E	90° 00' 00.00" RT
TH-131-1	25.00	39.27	35.36	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-137-1	25.00	39.27	35.36	N 89° 29' 29.77" E	90° 00' 00.00" RT
TH-138-1	25.00	39.27	35.36	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-144-1	25.00	39.27	35.36	N 89° 29' 29.77" E	90° 00' 00.00" RT
TH-145-1	25.00	21.61	20.94	N 70° 16' 08.01" W	49° 31' 15.55" RT
TH-145-2	25.00	39.27	35.36	N 0° 30' 30.23" W	90° 00' 00.00" RT
CA-1-1	63.00	35.19	34.70	S 68° 18' 47.61" W	31° 58' 05.83" LT
CA-1-2	25.00	35.85	32.86	N 65° 35' 22.77" W	82° 09' 45.07" RT
PS-1	25.00	12.10	12.01	N 59° 24' 43.35" W	27° 48' 26.23" RT
ROW-1	1155.00	98.46	96.81	S 73° 26' 25.85" E	36° 23' 44.94" LT
ROW-2	1,035.00	92.24	92.24	S 89° 09' 01.30" E	5° 06' 22.09" RT
ROW-3	1165.00	750.52	737.61	N 75° 00' 43.33" E	36° 54' 40.79" LT
ROW-4	635.00	62.27	62.23	S 59° 53' 28.24" E	06° 40' 06.19" LT
ROW-5	100.00	25.70	25.70	N 55° 59' 38.20" E	14° 45' 46.70" LT
ROW-6	25.00	23.10	23.10	N 79° 10' 4.93" E	55° 01' 57.22" LT
ROW-7	235.00	47.47	47.39	S 69° 24' 01.52" W	11° 34' 23.23" RT
ROW-8	465.00	54.12	54.09	S 59° 53' 28.24" W	06° 40' 06.19" LT
ROW-9	1,235.00	795.62	781.93	S 75° 00' 43.33" W	36° 54' 40.79" LT
ROW-10	965.00	86.00	85.97	N 89° 05' 07.30" W	5° 06' 22.09" LT
ROW-11	225.00	150.77	147.96	S 72° 26' 31.52" E	38° 23' 33.61" LT
ROW-12	63.00	160.33	122.06	S 15° 28' 38.64" W	151° 16' 00.19" RT

Parcel Num:
14 9 30 0 000 002.031
Name: MSC ALABASTER LLC
Address: 725 PARK CENTER DR
City: MATHEWS
Parcel Year: 2021
ZONING ALABASTER:
PCO_SUB_AREA1_(M-1)

Parcel Num:
14 9 30 0 000 002.034
Name: WEATHERLY COMMERCIAL
CENTER LLC
Address: PO BOX 1569
City: PELHAM
Parcel Year: 2021
ZONING ALABASTER:
PCO_SUB_AREAS_(B-3)



INSITE ENGINEERING
5800 FELDSPAR WAY
HOOVER, ALABAMA 35244
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RESIDENTIAL

CONSTRUCTION PLANS FOR:

PEAVINE CROSSING

ALABASTER, ALABAMA

REVIEW DRAWING
(NOT FOR CONSTRUCTION)

PROJECT INFO:
INSITE JOB No. 20054.04
PLOTTED: 12/29/22

12/28/22

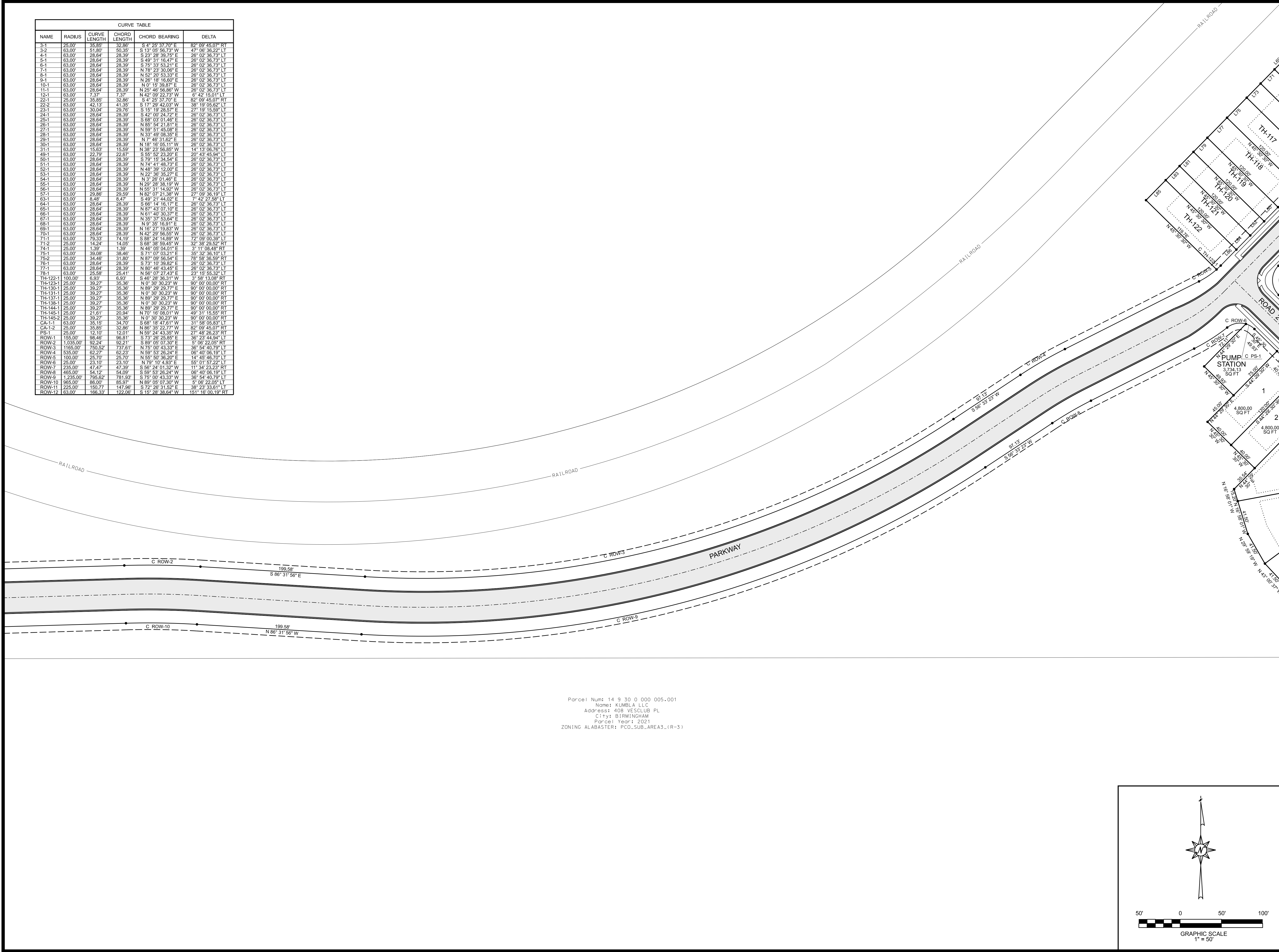
THIS SHEET CONTAINS:
PRELIMINARY PLAT

SCALE: 1"= 50'
SHEET 2 OF 6

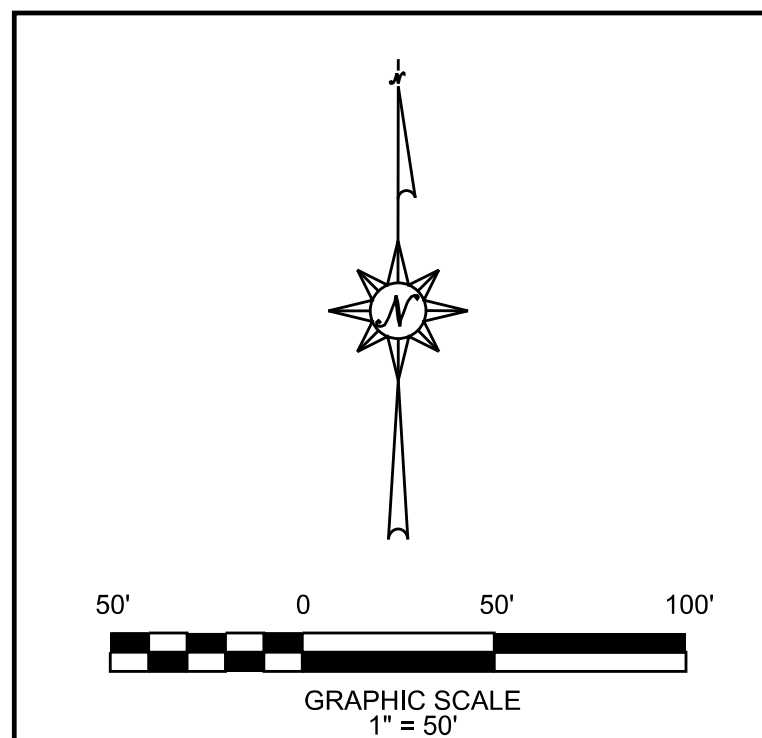
PL-2

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CURVE TABLE					
NAME	RADIUS	CURVE LENGTH	CHORD LENGTH	CHORD BEARING	DELTA
3-1	25.00	35.85	32.86	S 4° 25' 37.70" E	82° 09' 45.07" RT
3-2	63.00	51.80	50.35	S 13° 05' 56.73" W	47° 06' 36.22" LT
4-1	63.00	28.64	28.39	S 23° 26' 39.75" E	26° 02' 36.73" LT
5-1	63.00	28.64	28.39	S 49° 31' 16.47" E	26° 02' 36.73" LT
6-1	63.00	28.64	28.39	S 75° 33' 53.21" E	26° 02' 36.73" LT
7-1	63.00	28.64	28.39	N 78° 23' 30.06" E	26° 02' 36.73" LT
8-1	63.00	28.64	28.39	N 52° 20' 53.33" E	26° 02' 36.73" LT
9-1	63.00	28.64	28.39	N 26° 18' 16.80" E	26° 02' 36.73" LT
10-1	63.00	28.64	28.39	N 0° 15' 39.87" E	26° 02' 36.73" LT
11-1	63.00	28.64	28.39	N 25° 46' 56.86" W	26° 02' 36.73" LT
12-1	63.00	7.37	7.37	N 42° 09' 22.73" W	6° 42' 15.81" LT
22-1	25.00	35.85	32.86	S 4° 25' 37.70" E	82° 09' 45.07" RT
23-1	63.00	42.13	41.35	S 17° 29' 42.33" W	38° 19' 05.62" LT
24-1	63.00	30.04	29.76	S 15° 19' 28.57" E	27° 19' 15.59" LT
24-1	63.00	28.64	28.39	S 42° 00' 24.72" E	26° 02' 36.73" LT
25-1	63.00	28.64	28.39	S 68° 03' 01.46" E	26° 02' 36.73" LT
26-1	63.00	28.64	28.39	N 85° 54' 21.81" E	26° 02' 36.73" LT
27-1	63.00	28.64	28.39	N 59° 51' 45.08" E	26° 02' 36.73" LT
28-1	63.00	28.64	28.39	N 33° 49' 08.35" E	26° 02' 36.73" LT
29-1	63.00	28.64	28.39	N 7° 46' 31.62" E	26° 02' 36.73" LT
30-1	63.00	28.64	28.39	N 18° 16' 05.11" W	26° 02' 36.73" LT
31-1	63.00	15.63	15.59	N 38° 23' 56.85" W	14° 11' 06.76" LT
48-1	63.00	22.79	22.67	S 55° 52' 23.20" E	20° 43' 45.94" LT
50-1	63.00	28.64	28.39	S 79° 15' 34.54" E	26° 02' 36.73" LT
51-1	63.00	28.64	28.39	N 74° 41' 48.73" E	26° 02' 36.73" LT
52-1	63.00	28.64	28.39	N 48° 39' 12.00" E	26° 02' 36.73" LT
53-1	63.00	28.64	28.39	N 22° 36' 25.27" E	26° 02' 36.73" LT
54-1	63.00	28.64	28.39	N 3° 26' 01.46" E	26° 02' 36.73" LT
55-1	63.00	28.64	28.39	N 29° 28' 38.19" W	26° 02' 36.73" LT
56-1	63.00	28.64	28.39	N 55° 31' 14.92" W	26° 02' 36.73" LT
57-1	63.00	29.86	29.59	N 82° 07' 21.38" W	27° 09' 36.19" LT
63-1	63.00	8.48	8.47	S 49° 21' 44.02" E	7° 42' 27.58" LT
64-1	63.00	28.64	28.39	S 68° 14' 16.17" E	26° 02' 36.73" LT
65-1	63.00	28.64	28.39	N 87° 43' 07.10" E	26° 02' 36.73" LT
66-1	63.00	28.64	28.39	N 61° 40' 30.37" E	26° 02' 36.73" LT
67-1	63.00	28.64	28.39	N 35° 37' 53.94" E	26° 02' 36.73" LT
68-1	63.00	28.64	28.39	N 9° 35' 16.91" E	26° 02' 36.73" LT
69-1	63.00	28.64	28.39	N 16° 27' 19.83" W	26° 02' 36.73" LT
70-1	63.00	28.64	28.39	N 42° 29' 56.59" W	26° 02' 36.73" LT
71-1	63.00	79.33	74.19	S 88° 24' 14.89" W	72° 09' 00.39" LT
71-2	25.00	14.24	14.05	S 68° 38' 59.45" W	32° 38' 29.52" RT
74-1	25.00	1.39	1.39	N 46° 05' 04.01" E	3° 11' 08.48" RT
75-1	63.00	39.08	38.46	S 71° 07' 03.21" E	35° 32' 36.10" LT
75-2	25.00	34.46	31.80	N 87° 09' 56.54" E	78° 58' 36.89" RT
76-1	63.00	28.64	28.39	S 73° 10' 39.82" E	26° 02' 36.73" LT
77-1	63.00	28.64	28.39	N 80° 46' 43.45" E	26° 02' 36.73" LT
78-1	63.00	26.58	26.41	N 95° 07' 27.43" E	23° 15' 55.34" LT
TH-122-1	100.00	6.93	6.93	S 46° 28' 36.31" W	3° 58' 13.08" RT
TH-123-1	25.00	39.27	35.36	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-130-1	25.00	39.27	35.36	N 89° 29' 29.77" E	90° 00' 00.00" RT
TH-131-1	25.00	39.27	35.36	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-137-1	25.00	39.27	35.36	N 89° 29' 29.77" E	90° 00' 00.00" RT
TH-138-1	25.00	39.27	35.36	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-144-1	25.00	39.27	35.36	N 89° 29' 29.77" E	90° 00' 00.00" RT
TH-145-1	25.00	39.27	35.36	N 0° 30' 30.23" W	90° 00' 00.00" RT
CA-1-1	63.00	35.15	34.70	S 68° 18' 47.61" W	31° 58' 05.83" LT
CA-1-2	25.00	35.85	32.86	N 86° 35' 22.77" W	82° 09' 45.07" RT
PS-1	25.00	12.10	12.01	N 59° 24' 43.35" W	27° 48' 26.23" RT
ROW-1	1155.00	38.46	36.81	S 73° 26' 25.85" E	36° 23' 44.84" LT
ROW-2	1,035.00	92.24	92.21	S 89° 05' 07.00" W	5° 08' 22.05" RT
ROW-3	1185.00	750.52	737.61	N 75° 00' 43.33" E	36° 54' 40.79" LT
ROW-4	535.00	67.27	62.23	N 59° 53' 26.24" E	06° 40' 06.19" LT
ROW-5	109.00	25.70	25.70	N 55° 50' 36.20" E	14° 45' 46.70" LT
ROW-6	25.00	23.10	23.10	N 79° 10' 4.93" E	55° 01' 57.22" LT
ROW-7	235.00	47.47	47.39	S 65° 24' 01.32" W	11° 24' 23.23" LT
ROW-8	465.00	54.12	54.09	S 59° 53' 26.24" W	06° 40' 06.19" LT
ROW-9	1,235.00	795.62	781.93	S 75° 00' 43.33" W	36° 54' 40.79" LT
ROW-10	985.00	86.07	85.97	N 89° 05' 07.00" W	5° 08' 22.05" LT
ROW-11	225.00	150.77	147.86	S 72° 26' 31.52" E	38° 23' 33.61" LT
ROW-12	63.00	166.33	122.08	S 15° 28' 38.64" W	151° 16' 00.19" RT



Parcel Num: 14 9 30 0 000 005.001
 Name: KUMBLA LLC
 Address: 408 VESCLUB PL
 City: BIRMINGHAM
 Parcel Year: 2021
 ZONING ALABASTER: PCO_SUB_AREA3-(R-3)



INSITE ENGINEERING
 5800 FELDSPAR WAY
 HOOVER, ALABAMA 35244
 OFFICE (205) 733-9698
 www.insiteengineering.org

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 RESIDENTIAL

CONSTRUCTION PLANS FOR:

PEAVINE CROSSING

ALABASTER, ALABAMA

REVIEW DRAWING
 (NOT FOR CONSTRUCTION)

PROJECT INFO:
 INSITE JOB No. 20054.04
 PLOTTED: 12/29/22

12/28/22

THIS SHEET CONTAINS:
 PRELIMINARY PLAT

SCALE: 1"= 50'
 SHEET 3 OF 6

PL-3

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HOOVER, ALABAMA 35244
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CONSTRUCTION PLANS FOR: PEAVINE CROSSING ALABASTER, ALABAMA

REVIEW DRAWING (NOT FOR CONSTRUCTION)

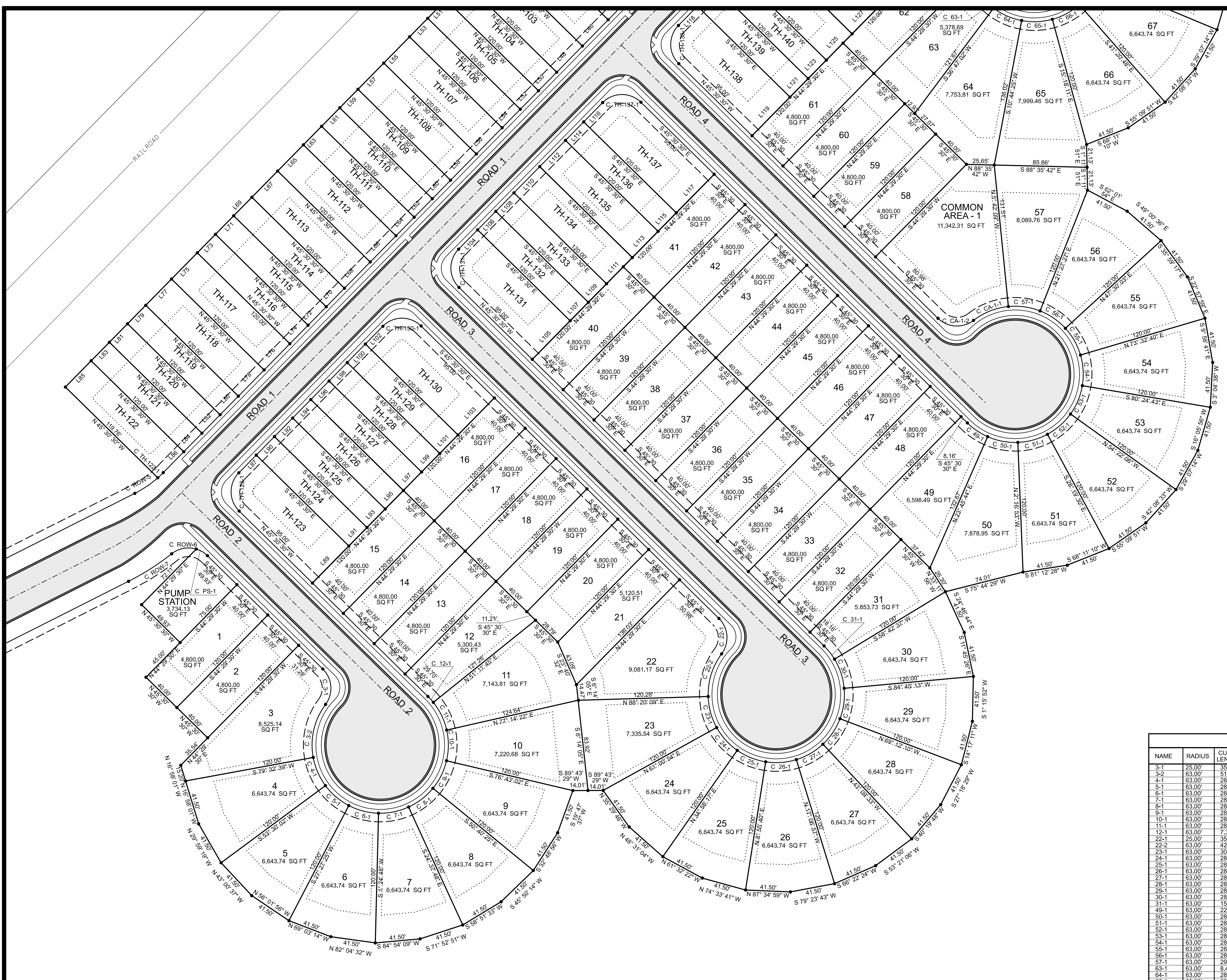
PROJECT INFO:
INSITE JOB No. 20054.04
PLOTTED: 12/29/22

REGISTERED PROFESSIONAL ENGINEER
JAMES M. CRISBY
12/28/22

THIS SHEET CONTAINS:
PRELIMINARY PLAT

SCALE: 1"=50'
SHEET 8 OF 6

PL-4

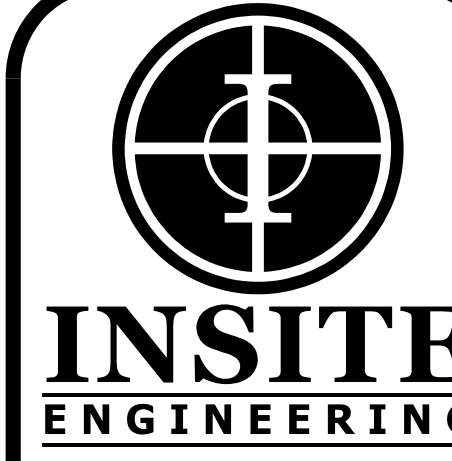


Parcel Num:
14 9 30 0 000 001.033
Name: ANDERSON DAVIS M
Address: 1748 PELHAM LN
City: PELHAM
Parcel Year: 2001
Zoning: Pelham R-1

Parcel Num:
14 9 30 0 000 001.036
Name: BETHERS DANIEL D
& DEBORAH G
Address: 91 WINDSOR CIR
City: PELHAM
Parcel Year: 2011
Zoning: Pelham A-1

NAME	RADIUS	CURVE LENGTH	CURVE BEARING	CHORD BEARING	DELTA
3-1	25.00	35.85	S 4° 26' 37.0" E	S 4° 26' 37.0" E	82° 09' 45.07" RT
3-2	83.00	51.80	S 13° 05' 56.73" W	S 13° 05' 56.73" W	47° 06' 36.22" LY
4-1	83.00	28.64	S 23° 29' 30.0" E	S 23° 29' 30.0" E	28° 12' 42.73" LY
5-1	83.00	28.64	S 49° 31' 16.47" E	S 49° 31' 16.47" E	26° 02' 36.73" LY
6-1	83.00	28.64	S 75° 33' 53.21" E	S 75° 33' 53.21" E	26° 02' 36.73" LY
7-1	83.00	28.64	S 89° 54' 18.18" E	S 89° 54' 18.18" E	26° 02' 36.73" LY
8-1	83.00	28.64	S 92° 29' 53.33" E	S 92° 29' 53.33" E	26° 02' 36.73" LY
9-1	83.00	28.64	S 95° 00' 00.00" E	S 95° 00' 00.00" E	26° 02' 36.73" LY
10-1	83.00	28.64	S 95° 59' 59.99" E	S 95° 59' 59.99" E	26° 02' 36.73" LY
11-1	83.00	28.64	S 96° 59' 59.99" E	S 96° 59' 59.99" E	26° 02' 36.73" LY
12-1	83.00	7.37	S 119° 15' 56.73" E	S 119° 15' 56.73" E	6° 42' 15.01" LY
22-1	25.00	35.85	S 4° 26' 37.0" E	S 4° 26' 37.0" E	82° 09' 45.07" RT
22-2	83.00	42.13	S 17° 29' 42.05" W	S 17° 29' 42.05" W	38° 19' 05.62" LY
23-1	83.00	30.04	S 19° 15' 56.73" E	S 19° 15' 56.73" E	27° 12' 42.73" LY
24-1	83.00	28.64	S 23° 29' 30.0" E	S 23° 29' 30.0" E	28° 12' 42.73" LY
25-1	83.00	28.64	S 28° 39' 01.46" E	S 28° 39' 01.46" E	26° 02' 36.73" LY
26-1	83.00	28.64	S 33° 48' 08.35" E	S 33° 48' 08.35" E	26° 02' 36.73" LY
27-1	83.00	28.64	S 38° 57' 15.24" E	S 38° 57' 15.24" E	26° 02' 36.73" LY
28-1	83.00	28.64	S 44° 06' 22.13" E	S 44° 06' 22.13" E	26° 02' 36.73" LY
29-1	83.00	28.64	S 49° 15' 29.02" E	S 49° 15' 29.02" E	26° 02' 36.73" LY
30-1	83.00	28.64	S 54° 24' 35.91" E	S 54° 24' 35.91" E	26° 02' 36.73" LY
31-1	83.00	15.63	S 59° 33' 42.80" E	S 59° 33' 42.80" E	11° 42' 15.01" LY
49-1	83.00	22.79	S 55° 52' 23.20" E	S 55° 52' 23.20" E	20° 43' 45.94" LY
50-1	83.00	28.64	S 59° 51' 34.54" E	S 59° 51' 34.54" E	26° 02' 36.73" LY
51-1	83.00	28.64	S 64° 00' 41.43" E	S 64° 00' 41.43" E	26° 02' 36.73" LY
52-1	83.00	28.64	S 68° 09' 48.32" E	S 68° 09' 48.32" E	26° 02' 36.73" LY
53-1	83.00	28.64	S 72° 18' 55.21" E	S 72° 18' 55.21" E	26° 02' 36.73" LY
54-1	83.00	28.64	S 76° 28' 02.10" E	S 76° 28' 02.10" E	26° 02' 36.73" LY
55-1	83.00	28.64	S 80° 37' 08.99" E	S 80° 37' 08.99" E	26° 02' 36.73" LY
56-1	83.00	28.64	S 84° 46' 15.88" E	S 84° 46' 15.88" E	26° 02' 36.73" LY
57-1	83.00	28.64	S 88° 55' 22.77" E	S 88° 55' 22.77" E	26° 02' 36.73" LY
58-1	83.00	28.64	S 93° 04' 29.66" E	S 93° 04' 29.66" E	26° 02' 36.73" LY
59-1	83.00	28.64	S 97° 13' 36.55" E	S 97° 13' 36.55" E	26° 02' 36.73" LY
60-1	83.00	28.64	S 101° 22' 43.44" E	S 101° 22' 43.44" E	26° 02' 36.73" LY
61-1	83.00	28.64	S 105° 31' 50.33" E	S 105° 31' 50.33" E	26° 02' 36.73" LY
62-1	83.00	28.64	S 109° 40' 57.22" E	S 109° 40' 57.22" E	26° 02' 36.73" LY
63-1	83.00	28.64	S 113° 49' 04.11" E	S 113° 49' 04.11" E	26° 02' 36.73" LY
64-1	83.00	28.64	S 117° 58' 11.00" E	S 117° 58' 11.00" E	26° 02' 36.73" LY
65-1	83.00	28.64	S 122° 07' 17.89" E	S 122° 07' 17.89" E	26° 02' 36.73" LY
66-1	83.00	28.64	S 126° 16' 24.78" E	S 126° 16' 24.78" E	26° 02' 36.73" LY
67-1	83.00	28.64	S 130° 25' 31.67" E	S 130° 25' 31.67" E	26° 02' 36.73" LY
68-1	83.00	28.64	S 134° 34' 38.56" E	S 134° 34' 38.56" E	26° 02' 36.73" LY
69-1	83.00	28.64	S 138° 43' 45.45" E	S 138° 43' 45.45" E	26° 02' 36.73" LY
70-1	83.00	28.64	S 142° 52' 52.34" E	S 142° 52' 52.34" E	26° 02' 36.73" LY
71-1	83.00	28.64	S 147° 01' 59.23" E	S 147° 01' 59.23" E	26° 02' 36.73" LY
72-1	83.00	28.64	S 151° 10' 06.12" E	S 151° 10' 06.12" E	26° 02' 36.73" LY
73-1	83.00	28.64	S 155° 19' 13.01" E	S 155° 19' 13.01" E	26° 02' 36.73" LY
74-1	83.00	28.64	S 159° 28' 19.90" E	S 159° 28' 19.90" E	26° 02' 36.73" LY
75-1	83.00	28.64	S 163° 37' 26.79" E	S 163° 37' 26.79" E	26° 02' 36.73" LY
76-1	83.00	28.64	S 167° 46' 33.68" E	S 167° 46' 33.68" E	26° 02' 36.73" LY
77-1	83.00	28.64	S 171° 55' 40.57" E	S 171° 55' 40.57" E	26° 02' 36.73" LY
78-1	83.00	28.64	S 176° 04' 47.46" E	S 176° 04' 47.46" E	26° 02' 36.73" LY
79-1	83.00	28.64	S 180° 13' 54.35" E	S 180° 13' 54.35" E	26° 02' 36.73" LY
TH-101	25.00	1.39	N 46° 03' 14.0" W	N 46° 03' 14.0" W	3° 11' 08.48" RT
TH-102	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-103	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-104	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-105	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-106	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-107	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-108	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-109	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-110	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-111	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-112	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-113	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-114	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-115	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-116	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-117	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-118	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-119	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-120	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-121	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-122	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-123	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-124	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-125	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-126	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-127	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-128	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-129	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-130	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-131	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-132	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-133	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-134	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-135	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-136	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-137	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-138	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-139	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-140	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-141	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-142	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-143	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-144	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-145	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-146	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-147	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-148	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-149	25.00	39.27	N 0° 30' 30.23" W	N 0° 30' 30.23" W	90° 00' 00.00" RT

LOT NUMBER	LINE NUMBER	CHORD LENGTH	CHORD BEARING	LOT SQ FT
LOT TH-80	L1	34.00	N44° 29' 30"E	4,080.00 SQ FT
LOT TH-81	L2	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-82	L3	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-83	L4	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-84	L5	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-85	L6	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-86	L7	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-87	L8	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-88	L9	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-89	L10	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-90	L11	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-91	L12	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-92	L13	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-93	L14	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-94	L15	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-95	L16	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-96	L17	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-97	L18	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-98	L19	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-99	L20	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-100	L21	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-101	L22	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-102	L23	24.00	S44° 29' 30"W	2,880.00 SQ FT
LOT TH-103	L24	24.00	S44° 29' 30"W	2,880.00 SQ



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ALABASTER, ALABAMA

REVIEW
DRAWING
(NOT FOR CONSTRUCTION)

PROJECT INFO:
INSITE JOB No. 20054.04
PLOTTED: 12/29/22

REGISTERED PROFESSIONAL ENGINEER
JAMES M. CRISDORF
12/28/22

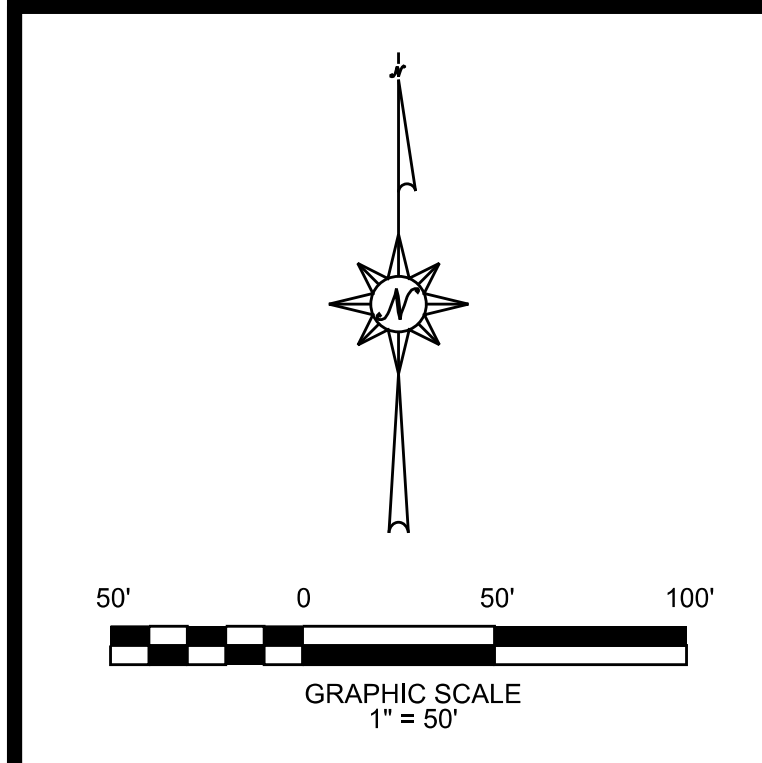
THIS SHEET CONTAINS:
PRELIMINARY PLAT

SCALE: 1"=50'
SHEET 9 OF 6

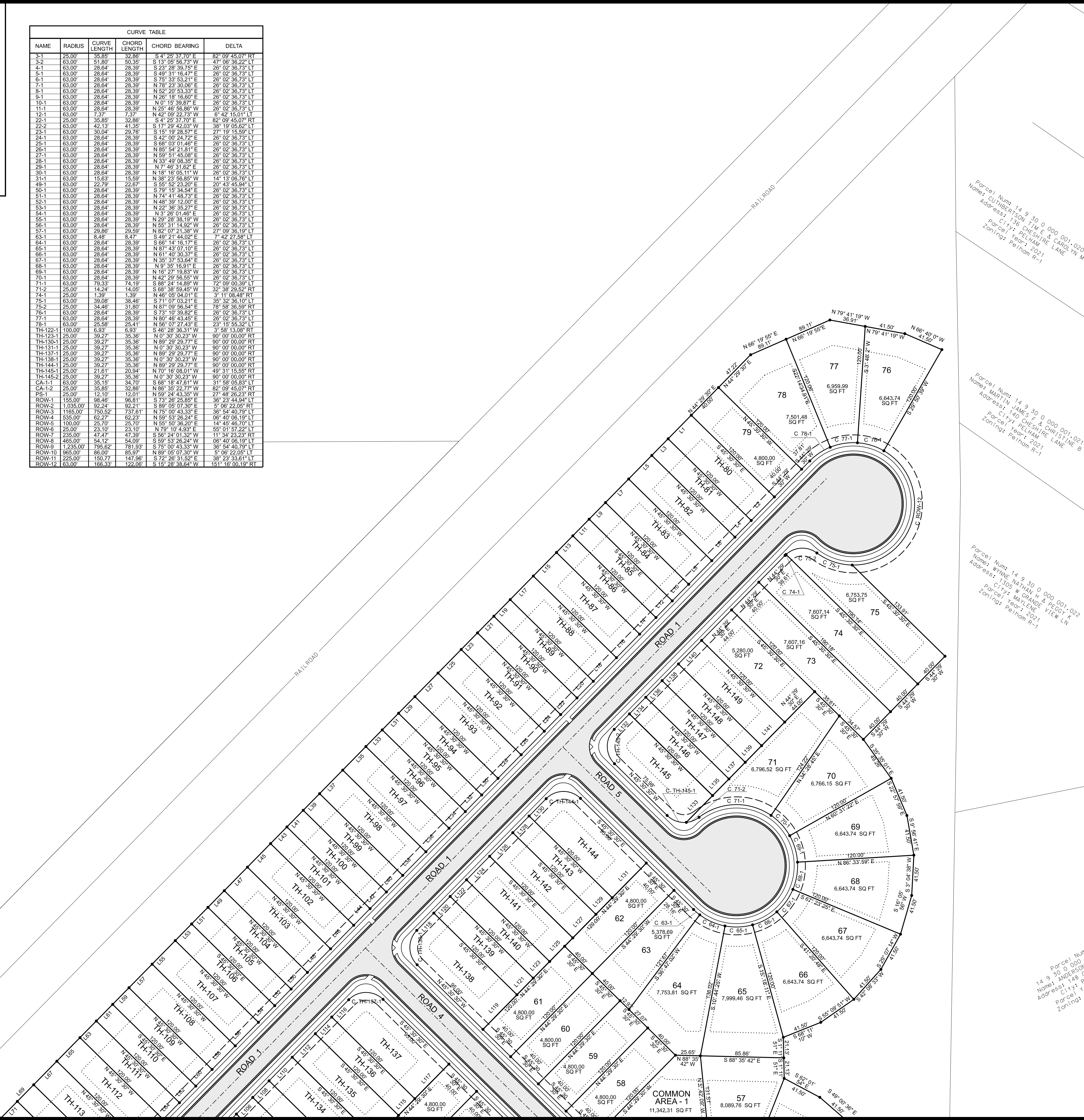
PL-5

CURVE TABLE					
NAME	RADIUS	CURVE LENGTH	CHORD LENGTH	CHORD BEARING	DELTA
3-1	25.00	35.85	32.86	S 4° 28' 37.0" E	82° 09' 45.0" RT
3-2	63.00	51.80	50.35	S 13° 05' 56.73" W	47° 06' 36.22" LT
4-1	63.00	28.64	28.39	S 28° 08' 39.70" E	28° 02' 36.73" LY
5-1	63.00	28.64	28.39	S 49° 31' 16.47" E	26° 02' 36.73" LY
6-1	63.00	28.64	28.39	S 73° 33' 53.21" E	26° 02' 36.73" LY
7-1	63.00	28.64	28.39	N 7° 03' 30.88" E	26° 02' 36.73" LY
8-1	63.00	28.64	28.39	N 52° 20' 53.33" E	26° 02' 36.73" LY
9-1	63.00	28.64	28.39	N 76° 18' 16.00" E	26° 02' 36.73" LY
10-1	63.00	28.64	28.39	N 0° 18' 38.87" E	26° 02' 36.73" LY
11-1	63.00	28.64	28.39	N 25° 46' 56.86" W	26° 02' 36.73" LY
20-1	63.00	28.64	28.39	N 7° 28' 37.00" E	82° 09' 45.07" RT
22-2	63.00	42.13	41.35	S 17° 29' 42.03" W	38° 19' 05.62" LY
23-1	63.00	30.84	29.76	S 15° 19' 38.77" E	26° 02' 36.73" LY
24-1	63.00	28.64	28.39	S 42° 00' 24.72" E	26° 02' 36.73" LY
25-1	63.00	28.64	28.39	S 68° 03' 01.46" E	26° 02' 36.73" LY
26-1	63.00	28.64	28.39	N 85° 41' 51.41" E	26° 02' 36.73" LY
27-1	63.00	28.64	28.39	N 59° 51' 45.08" E	26° 02' 36.73" LY
28-1	63.00	28.64	28.39	N 33° 49' 08.35" E	26° 02' 36.73" LY
29-1	63.00	28.64	28.39	N 7° 48' 31.60" E	26° 02' 36.73" LY
30-1	63.00	28.64	28.39	N 18° 16' 05.11" W	26° 02' 36.73" LY
31-1	63.00	15.63	15.59	N 38° 23' 56.85" W	14° 13' 06.76" LY
49-1	63.00	22.79	22.67	S 85° 52' 53.20" E	20° 13' 45.84" LY
50-1	63.00	28.64	28.39	S 79° 15' 34.54" E	26° 02' 36.73" LY
51-1	63.00	28.64	28.39	N 74° 41' 48.79" E	26° 02' 36.73" LY
52-1	63.00	28.64	28.39	N 49° 39' 12.00" E	26° 02' 36.73" LY
53-1	63.00	28.64	28.39	N 22° 38' 35.27" E	26° 02' 36.73" LY
54-1	63.00	28.64	28.39	N 0° 01' 44.60" E	26° 02' 36.73" LY
55-1	63.00	28.64	28.39	N 29° 28' 38.19" W	26° 02' 36.73" LY
56-1	63.00	28.64	28.39	N 55° 31' 14.92" W	26° 02' 36.73" LY
57-1	63.00	29.87	29.69	N 62° 07' 13.58" W	27° 08' 36.19" LY
63-1	63.00	8.48	8.47	S 49° 21' 44.02" E	7° 42' 27.58" LT
64-1	63.00	28.64	28.39	S 86° 14' 16.10" E	26° 02' 36.73" LY
65-1	63.00	28.64	28.39	N 87° 43' 07.10" E	26° 02' 36.73" LY
66-1	63.00	28.64	28.39	N 61° 40' 30.37" E	26° 02' 36.73" LY
67-1	63.00	28.64	28.39	N 35° 37' 53.84" E	26° 02' 36.73" LY
68-1	63.00	28.64	28.39	N 9° 35' 16.91" E	26° 02' 36.73" LY
69-1	63.00	28.64	28.39	N 16° 27' 19.53" W	26° 02' 36.73" LY
70-1	63.00	28.64	28.39	N 42° 59' 56.55" W	26° 02' 36.73" LY
71-1	63.00	79.33	74.19	S 88° 24' 14.89" W	72° 09' 00.39" LT
71-2	25.00	14.24	14.05	S 69° 39' 59.45" W	32° 38' 29.59" RT
74-1	25.00	1.39	1.39	N 48° 05' 04.01" E	3° 11' 08.46" RT
75-1	63.00	39.08	38.46	S 71° 07' 03.21" E	35° 32' 36.10" LY
75-2	25.00	34.46	31.80	N 87° 09' 56.54" E	78° 58' 36.59" RT
76-1	63.00	28.64	28.39	S 73° 10' 39.82" E	26° 02' 36.73" LY
77-1	63.00	28.64	28.39	N 80° 48' 43.45" E	26° 02' 36.73" LY
78-1	63.00	25.58	25.41	N 58° 07' 24.93" E	23° 15' 35.32" LY
TH-122-1	100.00	6.93	6.93	S 48° 28' 36.31" W	3° 58' 13.98" RT
TH-123-1	25.00	39.27	35.36	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-130-1	25.00	39.27	35.36	N 89° 29' 29.77" E	90° 00' 00.00" RT
TH-131-1	25.00	39.27	35.36	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-137-1	25.00	39.27	35.36	N 89° 29' 29.77" E	90° 00' 00.00" RT
TH-138-1	25.00	39.27	35.36	N 0° 30' 30.23" W	90° 00' 00.00" RT
TH-144-1	25.00	39.27	35.36	N 89° 29' 29.77" E	90° 00' 00.00" RT
TH-145-1	25.00	21.81	20.84	N 70° 16' 08.01" W	49° 31' 15.55" RT
TH-145-2	25.00	39.27	35.36	N 0° 30' 30.23" W	90° 00' 00.00" RT
CA-1-1	63.00	35.15	34.70	S 88° 18' 47.61" W	31° 58' 05.83" LY
CA-1-2	25.00	35.80	32.86	N 85° 35' 22.77" W	82° 09' 45.07" RT
PS-1	25.00	12.10	12.01	N 59° 54' 43.59" E	27° 48' 25.29" RT
ROW-1	165.00	98.46	96.81	S 73° 26' 26.85" E	36° 23' 44.94" LY
ROW-2	1,035.00	62.28	62.21	S 89° 05' 07.30" E	1° 06' 22.05" RT
ROW-3	1165.00	750.82	737.61	N 75° 00' 43.33" E	36° 54' 40.79" LY
ROW-4	535.00	62.27	62.23	N 59° 53' 26.24" E	06° 40' 06.19" LY
ROW-5	100.00	23.10	23.10	N 55° 59' 36.70" E	14° 49' 46.70" LY
ROW-6	25.00	23.10	23.10	N 79° 10' 4.93" E	55° 01' 57.22" LY
ROW-7	235.00	47.47	47.39	S 56° 24' 01.32" W	11° 34' 23.23" RT
ROW-8	465.00	54.12	54.09	S 59° 53' 26.24" E	06° 40' 06.19" LY
ROW-9	1,235.00	795.82	781.93	S 75° 00' 43.33" W	36° 54' 40.79" LY
ROW-10	965.00	85.00	85.07	N 89° 05' 07.30" E	3° 06' 22.05" LY
ROW-11	225.00	150.77	147.96	S 72° 28' 31.52" E	38° 23' 33.61" LY
ROW-12	63.00	166.33	122.06	S 15° 28' 38.64" W	151° 16' 00.19" RT

LINE TABLE				
LOT NUMBER	LINE NUMBER	CHORD LENGTH	CHORD BEARING	LOT SQ FT
LOT TH-80	L1	34.00	N44° 29' 30" E	4,080.00 SQ FT
LOT TH-81	L2	34.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-82	L3	24.00	N44° 29' 30" E	4,080.00 SQ FT
LOT TH-83	L4	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-84	L5	34.00	N44° 29' 30" E	4,080.00 SQ FT
LOT TH-85	L6	34.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-86	L7	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-87	L8	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-88	L9	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-89	L10	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-90	L11	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-91	L12	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-92	L13	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-93	L14	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-94	L15	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-95	L16	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-96	L17	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-97	L18	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-98	L19	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-99	L20	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-100	L21	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-101	L22	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-102	L23	24.00	N44° 29' 30" E	4,080.00 SQ FT
LOT TH-103	L24	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-104	L25	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-105	L26	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-106	L27	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-107	L28	24.00	S44° 29' 30" W	4,080.00 SQ FT
LOT TH-108	L29	24.00	N44° 29' 30" E	4,080.00 SQ FT
LOT TH-109	L30	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-110	L31	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-111	L32	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-112	L33	24.00	N44° 29' 30" E	4,080.00 SQ FT
LOT TH-113	L34	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-114	L35	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-115	L36	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-116	L37	24.00	N44° 29' 30" E	4,080.00 SQ FT
LOT TH-117	L38	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-118	L39	24.00	N44° 29' 30" E	4,080.00 SQ FT
LOT TH-119	L40	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-120	L41	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-121	L42	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-122	L43	24.00	N44° 29' 30" E	4,079.17 SQ FT
LOT TH-123	L44	24.00	S44° 29' 30" W	5,625.87 SQ FT
LOT TH-124	L45	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-125	L46	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-126	L47	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-127	L48	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-128	L49	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-129	L50	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-130	L51	24.00	N44° 29' 30" E	5,625.87 SQ FT
LOT TH-131	L52	24.00	S44° 29' 30" W	5,665.87 SQ FT
LOT TH-132	L53	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-133	L54	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-134	L55	24.00	N44° 29' 30" E	4,080.00 SQ FT
LOT TH-135	L56	24.00	S44° 29' 30" W	4,080.00 SQ FT
LOT TH-136	L57	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-137	L58	24.00	S44° 29' 30" W	5,665.87 SQ FT
LOT TH-138	L59	24.00	N44° 29' 30" E	5,665.87 SQ FT
LOT TH-139	L60	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-140	L61	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-141	L62	24.00	S44° 29' 30" W	4,080.00 SQ FT
LOT TH-142	L63	24.00	N44° 29' 30" E	4,080.00 SQ FT
LOT TH-143	L64	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-144	L65	24.00	N44° 29' 30" E	5,665.87 SQ FT
LOT TH-145	L66	24.00	S44° 29' 30" W	5,499.66 SQ FT
LOT TH-146	L67	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-147	L68	24.00	S44° 29' 30" W	2,880.00 SQ FT
LOT TH-148	L69	24.00	N44° 29' 30" E	2,880.00 SQ FT
LOT TH-149	L70	24.00	S44° 29' 30" W	4,080.00 SQ FT



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Parcel Num: 14 9 30 0 000 001 000
Name: CUIBERTON, TIM & CAROLYN M
Address: 136 CHESHIRE LANE
City: PELHAM
Year: 2021
Zoning: Pelham R-1

Parcel Num: 14 9 30 0 000 001 021
Name: MARTIN, MARG F & CHRISTINE B
Address: 136 CHESHIRE LANE
City: PELHAM
Year: 2021
Zoning: Pelham R-1

Parcel Num: 14 9 30 0 000 001 022
Name: WILSON, MATHAN W & PEGGY L W
Address: 136 CHESHIRE LANE
City: PELHAM
Year: 2021
Zoning: Pelham R-1

Parcel Num: 14 9 30 0 000 001 023
Name: WILSON, MATHAN W & PEGGY L W
Address: 136 CHESHIRE LANE
City: PELHAM
Year: 2021
Zoning: Pelham R-1

ABBREVIATIONS

ABV ABOVE	L LENGTH
AC AIR CONDITIONING	LA LAUNDRY
AD AREA DRAIN	LAV LAVATORY
ADJ ADJUSTABLE	LVR LOUVER
ALT ALTERNATE	MAX MAXIMUM
ALUM ALUMINUM	MECH MECHANICAL
ARCH ARCHITECTURAL	MFR MANUFACTURER
BA BATHROOM	MIN MINIMUM
BD BOARD	MISC MISCELLANEOUS
BF BI-FOLD (DOOR)	N NORTH
BLDG BUILDING	NT.S. NOT TO SCALE
BLK BLOCK (CMU)	OS&D OVERHEAD GARAGE DOOR
BLM BELM	OH OVERHEAD
BM BEAM	OPT OPTIONAL
BP BI-PASS (DOOR)	PAR PARALLEL
BOT BOTTOM	P.B. PUSH BUTTON
BTVN BETWEEN	PDR POWDER
CAB CABINET	PED PEDESTAL
CER CERAMIC	PL PLATE
C.J. CONTROL JOINT OR CONSTRUCTION JOINT	FR PAIR
CL CLOSET OR CENTER LINE	P.F. PRESSURE TREATED WOOD
CLG CEILING	P.V.C. POLYVINYL CHLORIDE PIPE
CLR CLEAR	P.V.M.T. PAVEMENT
CMU CONCRETE MASONRY UNIT	P.W. PRES-WIRE
COL COLUMN	P.W. PLYWOOD
CONC CONCRETE	R RISER
C CARPET	RAG RETURN AIR GRILL
CR CORROSION RESISTANT	REF REFERENCE
CSMT CASHEMNT	REFR REFRIGERATOR
C.T. CERAMIC TILE	REQ REQUIRED
D DRYER	S SOUTH
DBL DOUBLE HUNG	SD SMOKE DETECTOR
DM DIMENSION	S.F. SQUARE FEET
DISP DISPOSAL	S.G.D. SLIDING GLASS DOOR
DN DOWN	SH SINGLE HUNG OR SHELF
DR DOOR	SHM SIMILAR
DS DOWNSPOUT	SL SLOPE / SLIDING
DW DISH WASHER	SHP SHELF AND POLE
DWG DRAWING	SPEC SPECIFICATIONS
E EAST	STD STANDARD
EA EACH	STR STRUCTURAL
ELEV ELEVATION	SQ SQUARE
ELEC ELECTRICAL	SYM SYMBOL
EQ EQUAL	S45 SMOOTH FOUR SIDES
EXT EXTERIOR	T TREAD (AT STAIRS) OR TILE
FAU FORCED AIR UNIT	TB TONEL BAR
F.C. FLOOR CHANGE	TEMP TEMPERED (GLASS)
F.D. FLOOR DRAIN	T&G TONGUE & GROOVE
FFL FINISH FLOOR LINE	T.O.C. TOP OF CURB
F.G. FINISHED GRADE	TV TELEVISION
FLR FLOORING	TYP TYPICAL
FL FLOURESCENT (LIGHT)	UNO. UNLESS NOTED OTHERWISE
FND FOUNDATION	V.B. VAPOR BARRIER
F.O.S. FACE OF STUD	VERT VERTICAL
FIG FOOTING	V.T.R. VENT THRU ROOF
FX FIXED GLASS	W WASHING MACHINE
GALV GALVANIZED	WD WOOD
GAR GARAGE	WDM WINDOW
G.B. GYPSUM BOARD	WH WATER HEATER
GD GRADE OR GRADING	W IROUGHT IRON
G.D.O. GARAGE DOOR OPENER	WIC WALK-IN CLOSET
GTI GROUND FAULT INTERRUPTER	W/O WITH OR WITHOUT
GL GLASS OR GLAZING	W.P. WATERPROOFING
GYP BD GYPSUM BOARD	W.M. WELDED WIRE MESH
HB HOSE BIBB	Ø PROPERTY LINE
HD HEAD OR HARD	∅ ROUND / DIAMETER
HDR HEADER	∠ AND
HST HEIGHT	∟ CENTERLINE
HVAC HEATING/VENTILATING/AIR COND.	∩ FOUND / NUMBER
HWD HARDWOOD	
INT INTERIOR	
JST JOIST	
JT JOINT	
KIT KITCHEN	

INDEX

MODEL 'DARWIN -A'

0	TITLE SHEET / COVER SHEET
1 A	FRONT ELEVATION 'A'
1.2 A	ROOF PLAN 'A'
2 A	SIDE AND REAR ELEVATIONS 'A'
3 MS A	MONOLITHIC SLAB PLAN 'A'
4 A	1ST FLOOR PLAN 'A'
5 A	2ND FLOOR PLAN 'A'
1 CS	BUILDING SECTIONS
2.1	ELEVATION OPTIONS
6	1ST FLOOR UTILITY PLAN
7	2ND FLOOR UTILITY PLAN
II	ARCHITECTURAL SHEETS

BUILDING CODE COMPLIANCE / PROJECT INFORMATION 2018

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES:
 FOLLOW ALL APPLICABLE STATE AND LOCAL CODES, ALABAMA STATE SUPPLEMENTS AND AMENDMENTS 2012

2018- INTERNATIONAL RESIDENTIAL CODE (BUILDING)
 2018- INTERNATIONAL FIRE PREVENTION CODE
 2018- INTERNATIONAL PLUMBING CODE (BUILDING)
 2018- INTERNATIONAL MECHANICAL CODE (BUILDING)
 2018- INTERNATIONAL FUEL GAS CODE (BUILDING)
 2018- INTERNATIONAL ENERGY CONSERVATION CODE (BUILDING)
 2017- NATIONAL ELECTRICAL CODE

PRODUCT:
 SINGLE FAMILY RESIDENCE

OCCUPANCY CLASSIFICATION
 RESIDENTIAL R-3

CONSTRUCTION TYPE:
 TYPE VB

ALL CONSULTANT DRAWINGS ACCOMPANYING THESE ARCHITECTURAL DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUP, INC. GMD DESIGN GROUP INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS.

GENERAL NOTES DESIGNER:

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.

ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.

ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.

PROVIDE FIREBLOCKING. (PER LOCAL CODES)

ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TONEL BAR, TONEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.

ELASTOMERIC SHEET WATERPROOFING: FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL. INSTALL PER MANUFACTURER'S AND TRADE ASSOCIATION'S PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.

TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.

SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.

DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

THE BUILDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.

ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.

PROVIDE AN APPROVED WASHER DRAIN PAN AT SECOND FLOOR ONLY THAT DRAINS TO EXTERIOR.

WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ FT WITH MIN. DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH. SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR. (PER LOCAL CODES)

ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER LOCAL CODES)

PROVIDE STAIR HANDRAILS AND GUARDRAILS PER LOCAL CODES

BUILDER SET:

THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A "BUILDER'S SET" OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HEREINAFTER REFERRED TO AS "PLANS". THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS, AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT / CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.

CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY, WHERE QUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK. WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE, PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT, WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE GMD DESIGN GROUP BEFORE PROCEEDING.

AREA CALCULATIONS:

MODEL 'DARWIN' SQUARE FOOTAGES	
AREA	ELEV 'A'
1st FLOOR	125 SF
2nd FLOOR	1024 SF
TOTAL LIVING	1149 SF
GARAGE	455 SF
PORCH	42 SF
COVERED PATIO	120 SF

PLAN CHANGES:

DATE	DESCRIPTION
04.23.15	CLIENT REVISIONS TO HAVAC CLOSETS, GENERAL ROOF CONSTRUCTION AND WINDOW GRID PATTERNS
08.21.15	SPLITTING SET INTO ELEVATION SPECIFIC SETS
08.21.15	UPDATING BRICK PER CLIENT REVISION
09.19.17	REVISED ELEVATION 'A' AND 'B'
02.22.18	ADDED VAULTED CEILING
05.20.18	DIMENSIONED KITCHEN ISLAND
03.02.20	CLIENT REVISIONS
07.16.21	UPDATE CODE REFERENCES
09.24.22	VALUE ENGINEERING

CONSULTANTS:

BUILDER: DR HORTON 2188 PARKWAY LAKE DRIVE SUITE 200 HOOVER, AL PHONE: (770) 730-7400 CONTACT: GENE VANDEVENDER EMAIL: GVANDEVENDER@DRHORTON.COM	DESIGNER: GMD DESIGN GROUP 1138 SATELLITE BLVD. STE 300 SUWANEE, GA. 30024 PHONE: (770) 375-1351 CONTACT: DONALD J. McGRATH EMAIL: DONNIE@GMDDESIGNGROUP.COM
--	---

NO:	DATE:	REVISION:
△	09.24.22	

PROFESSIONAL SEAL:

PROJECT TITLE:

30' Series

CLIENTS NAME:

D-R-HORTON
America's Builder

PROJECT NO: GMD-GA14065

SHEET TITLE:
TITLE SHEET

PRINT DATE:
September 13, 2017

SHEET NO:

FOR CONSTRUCTION

NO:	DATE:	REVISION:
△	09.29.22	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

FOR CONSTRUCTION

CLIENTS NAME:



PROJECT NO: GMD-GA14065

SHEET TITLE:
**'DARWIN'
EXTERIOR
ELEVATIONS
'4DBF-A'**

PRINT DATE:
September 13, 2017

SHEET NO:
1A 25

NOTES: IRC

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY:
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

KEY NOTES:

MASONRY:

- ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- Ø" SOLDIER COURSE.
- ROWLOCK COURSE
- DECORATIVE KEY. SEE DETAIL.

TYPICALS:

- CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
- CODE APPROVED TERMINATION CHIMNEY CAP.
- CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.

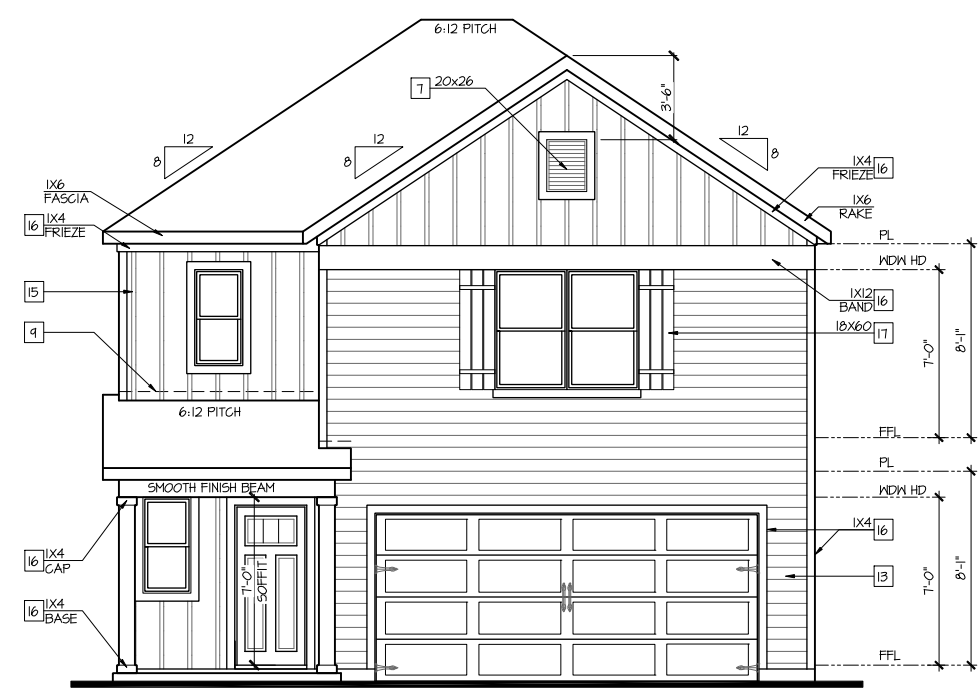
ROOFING:

- STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- DECORATIVE WROUGHT IRON. SEE DETAILS.

SIDING:

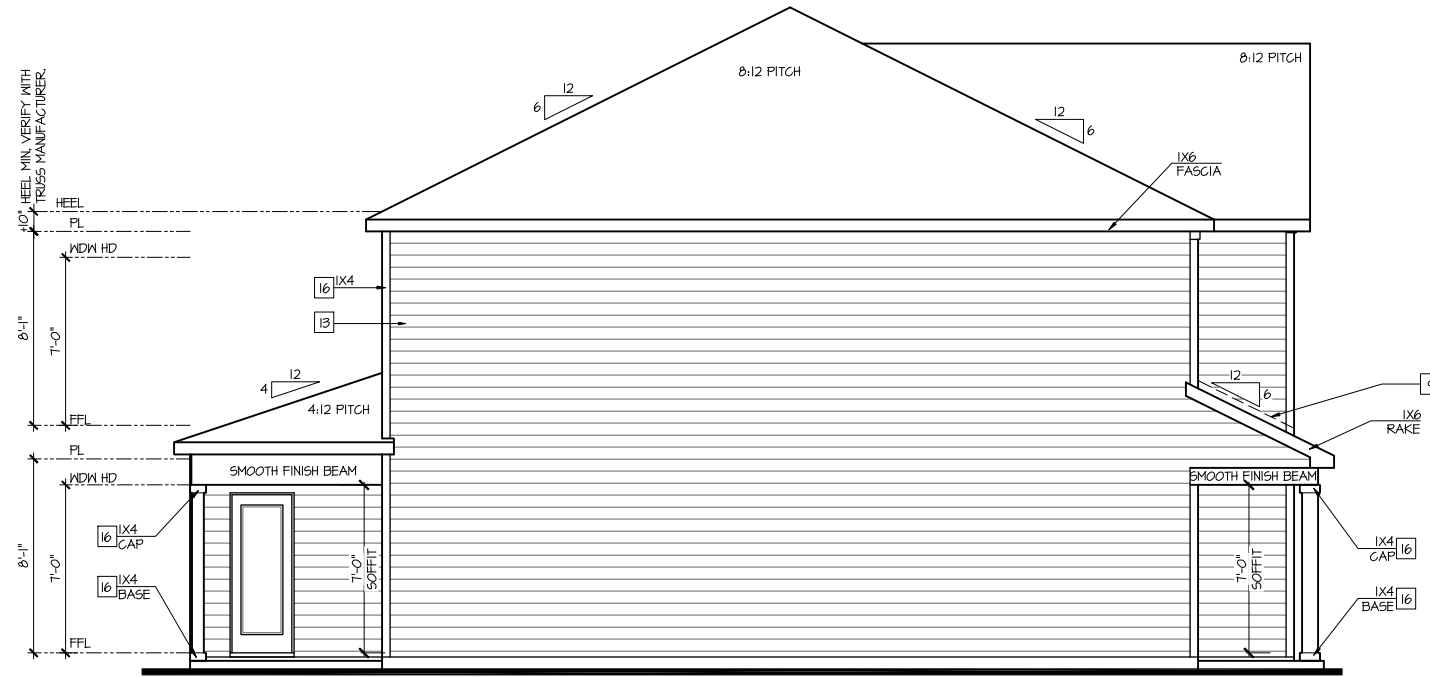
- FIBER CEMENT SHAKE SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
- FIBER CEMENT LAP SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
- FIBER CEMENT NAVY SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
- FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C.
(VINYL BOARD AND BATT SIDING)
- 1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
- FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH LOCAL CODES

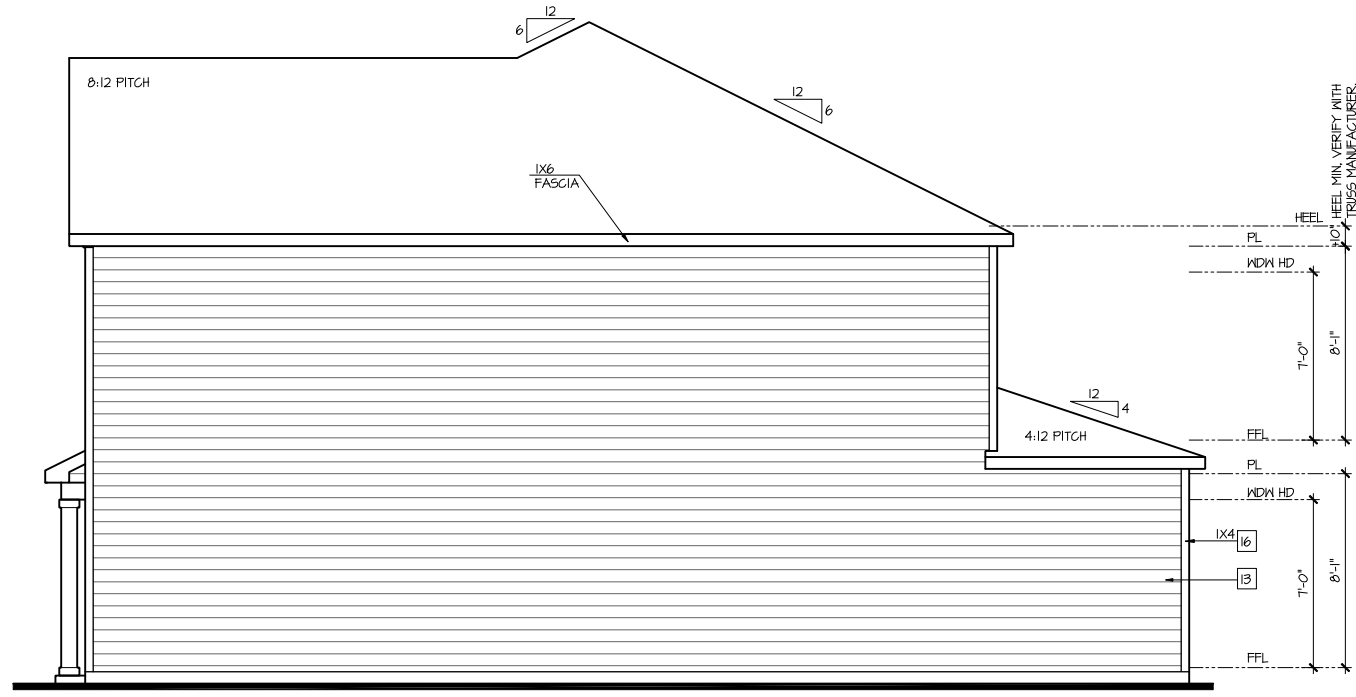


Front Elevation 'A'
SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

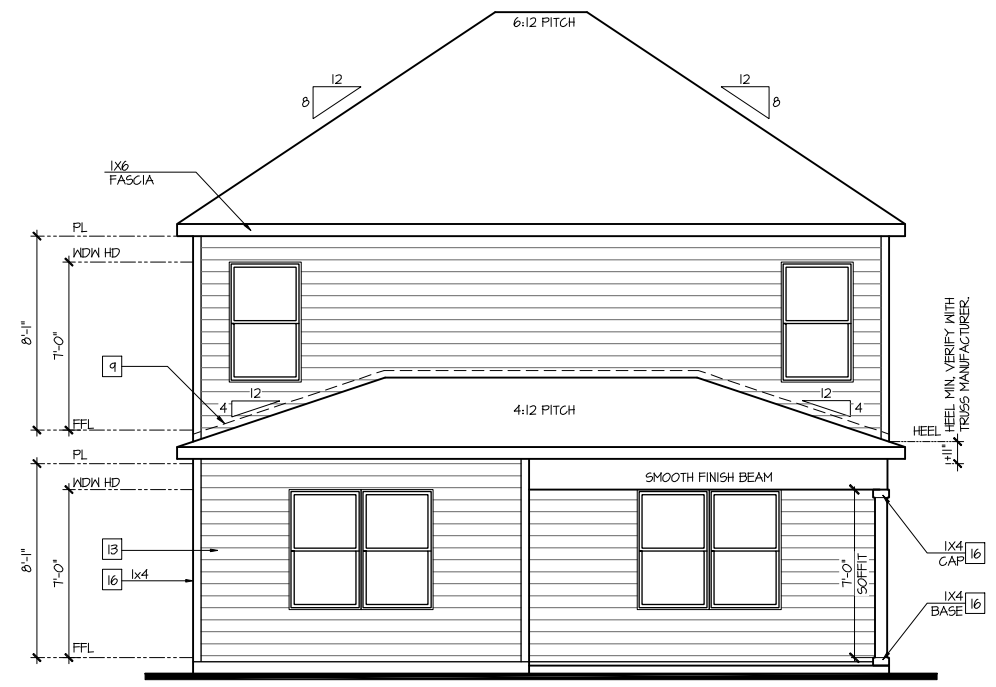
- NOTES: IRC**
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
 - WINDOW HEAD HEIGHTS:
1ST FLOOR = T+0" U.N.O. ON ELEVATIONS.
2ND FLOOR = T+0" U.N.O. ON ELEVATIONS.
 - ROOFING: PITCHED SHINGLES PER DEVELOPER.
 - WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
 - ENTRY DOOR: AS SELECTED BY DEVELOPER.
 - GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
 - CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
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 - PROTECTION AGAINST DECAY:
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)
- KEY NOTES:**
- MASONRY:**
- ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 8" SOLDIER COURSE.
 - ROWLOCK COURSE
 - DECORATIVE KEY. SEE DETAIL.
- TYPICALS:**
- CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
 - CODE APPROVED TERMINATION CHIMNEY CAP.
 - CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
 - STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - DECORATING WROUGHT IRON. SEE DETAILS.
- SIDING:**
- FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS.
 - FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS.
 - FIBER CEMENT WAVY SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS.
 - FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (VINYL BOARD AND BATT SIDING)
 - 1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
 - FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.
- ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH LOCAL CODES



Left Elevation 'A'
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



Right Elevation 'A'
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



Rear Elevation 'A'
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT

NO:	DATE:	REVISION:
1	09.29.22	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

FOR CONSTRUCTION

CLIENTS NAME:

D-R-HORTON
America's Builder

PROJECT NO: GMD-GA14065

SHEET TITLE:
'DARWIN'
EXTERIOR ELEVATIONS '4DBF-A'

PRINT DATE:
September 13, 2017

SHEET NO:
2A 26

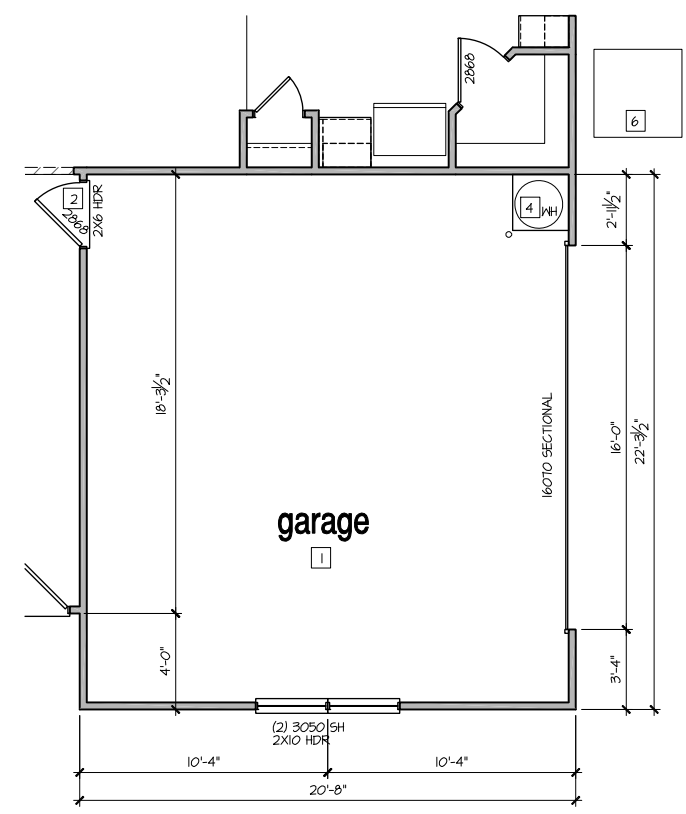
8'-1" STAIR NOTE:
 (USE 16" TJI WITH 3/4" PLYWOOD SUBFLOOR)
 15 TREADS AT 10" EACH VERIFY
 16 RISERS AT 1/2" TJI = 113 3/4" TOTAL
 RISE VERIFY

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

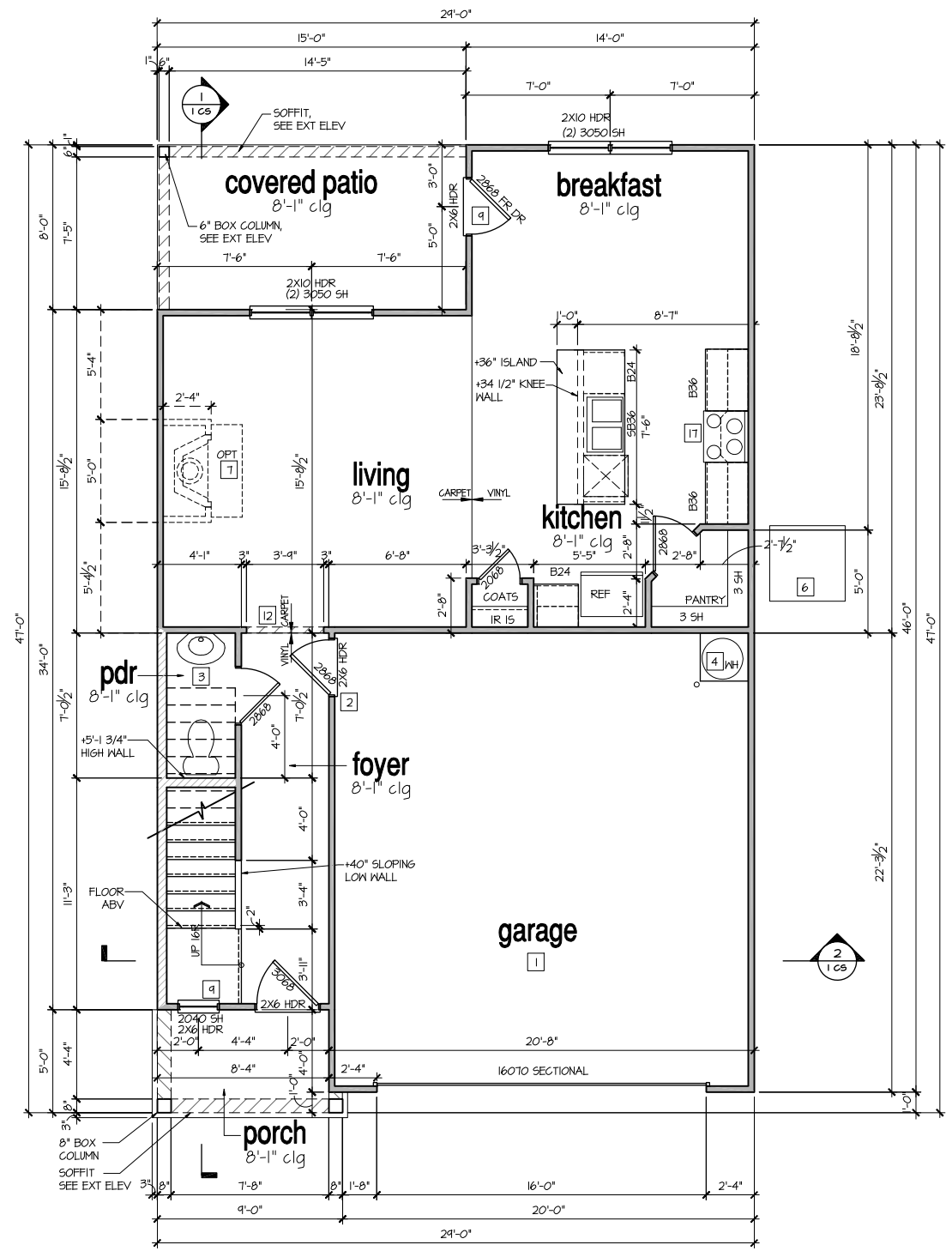
WALL LEGEND:

FULL HEIGHT 2X4 WOOD STUD PARTITION	FULL HEIGHT 2X6 WOOD STUD PARTITION
BRICK / STONE VENEER	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED	DRYWALL OPENING, HEIGHT AS NOTED ON PLAN

- KEY NOTES:**
- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER LOCAL CODES)
 - HOUSE TO GARAGE DOOR SEPARATION, PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER LOCAL CODES)
 - BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER LOCAL CODES)
- MEPS:**
- GAS WATER HEATER ON 18" HIGH PLATFORM. (PER LOCAL CODES)
 - FAU 8'X8' PLATFORM. VERIFY WITH TRUSS MANUFACTURER. (6'-6" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2'X6" OVER 2'X4" BOTTOM CHORD, OF TRUSS, VERIFY W/ TRUSSES)
 - A/C CONDENSER PAD. (VERIFY)
 - PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"X22". FIRE RATED ACCESS AS NOTED. (PER LOCAL CODES)
 - ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" X 54" SIZE)
- TYPICALS:**
- TEMPERED SAFETY GLASS. (PER LOCAL CODES)
 - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
 - HALF WALL, HEIGHT AS NOTED.
 - INTERIOR SOFFITS: FFL = 7'-6" U.N.O. SFL = 7'-6" U.N.O.
- BATHS:**
- SHOWER. TEMPERED GLASS ENCLOSURE.
 - TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE.
 - CERAMIC TILE SHOWER AND FLOOR. TEMPERED GLASS ENCLOSURE.
 - ACRYLIC TUB W/ CERAMIC PLATFORM
- KITCHEN:**
- 30" SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 30" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ELECTRIC OVEN WITH MICROWAVE OVEN.



Opt Side Load Garage 'A'
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



1st Floor Plan 'A'
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT

NO:	DATE:	REVISION:
1	04.24.22	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

FOR CONSTRUCTION

CLIENTS NAME:
D-R-HORTON
America's Builder

PROJECT NO: GMD-GA14065

SHEET TITLE:
'DARWIN'
 1st FLOOR
 PLAN '3DWF-A'

PRINT DATE:
 September 13, 2017

SHEET NO:
4 / 27

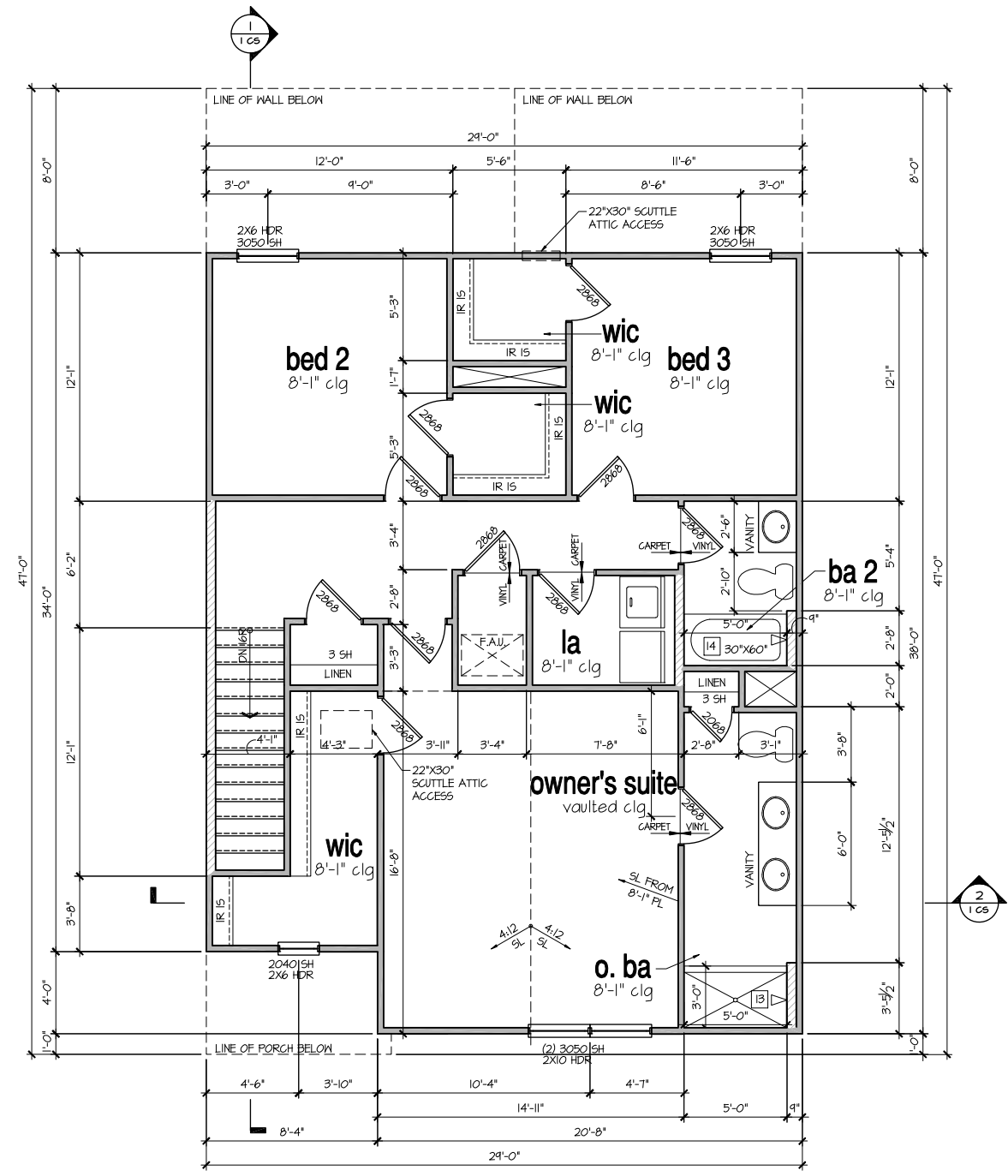
8'-1" STAIR NOTE:
 (USE 16" T.J. WITH 3/4" PLYWOOD SUBFLOOR.)
 15 TREADS AT 10" EACH VERIFY
 16 RISERS AT 1/2" T.I.I" = 113 3/4" TOTAL
 RISE VERIFY

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

WALL LEGEND:

FULL HEIGHT 2X4 WOOD STUD PARTITION	FULL HEIGHT 2X6 WOOD STUD PARTITION
BRICK / STONE VENEER	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED	DRYWALL OPENING HEIGHT AS NOTED ON PLAN.

- KEY NOTES:**
- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER LOCAL CODES)
 GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. (PER LOCAL CODES)
 - HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER LOCAL CODES)
 - BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER LOCAL CODES)
- MEPS:**
- GAS WATER HEATER ON 18" HIGH PLATFORM. (PER LOCAL CODES)
 - FAU 8'X8' PLATFORM. VERIFY WITH TRUSS MANUFACTURER. (6'-6" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2'X6" OVER 2'X4" BOTTOM CHORD. OF TRUSS, VERIFY W/ TRUSSES.)
 - AVC CONDENSER PAD. (VERIFY)
 - PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"X22". FIRE RATED ACCESS AS NOTED. (PER LOCAL CODES)
 ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" X 54" SIZE.)
- TYPICALS:**
- TEMPERED SAFETY GLASS. (PER LOCAL CODES)
 - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
 - HALF WALL, HEIGHT AS NOTED.
 - INTERIOR SOFFITS: FFL = 7'-6" U.N.O. SFL = 7'-6" U.N.O.
- BATHS:**
- SHOWER. TEMPERED GLASS ENCLOSURE.
 - TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE.
 - CERAMIC TILE SHOWER AND FLOOR. TEMPERED GLASS ENCLOSURE.
 - ACRYLIC TUB W/ CERAMIC PLATFORM
- KITCHEN:**
- 30" SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 30" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ELECTRIC OVEN WITH MICROWAVE OVEN.



2nd Floor Plan 'A'
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT

NO:	DATE:	REVISION:
1	04.24.22	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

CLIENTS NAME:



PROJECT NO: 6MD-GA14065

SHEET TITLE:
'DARWIN'
 2nd FLOOR
 PLAN '3DWF-A'

PRINT DATE:
 September 13, 2017

FOR CONSTRUCTION

EXPRESS HOMES

30' SERIES

MODEL 'ELSTON- F' - RH

ABBREVIATIONS

ABV ABOVE	L LENGTH
AC AIR CONDITIONING	LA LAUNDRY
AD AREA DRAIN	LAV LAVATORY
ADJ ADJUSTABLE	LVR LOUVER
ALT ALTERNATE	MAX MAXIMUM
ALUM ALUMINUM	MCH MECHANICAL
ARCH ARCHITECTURAL	MFR MANUFACTURER
BA BATHROOM	MN MINIMUM
BD BOARD	MSC MISCELLANEOUS
BF BI-FOLD (DOOR)	N NORTH
BLDG BUILDING	NT.S. NOT TO SCALE
BLK BLOCK (CMU)	OH OVERHEAD GARAGE DOOR
BLM BELONG	OH OVERHEAD
BM BEAM	OPT OPTIONAL
BP BI-PASS (DOOR)	PAS PARALLEL
BT BOTTOM	P.B. PUSH BUTTON
BTWN BETWEEN	PDR POWDER
CAB CABINET	PED PEDESTAL
CER CERAMIC	PL PLATE
C.J. CONTROL JOINT OR CONSTRUCTION JOINT	FR PAIR
CL CLOSET OR CENTER LINE	P.F. PRESSURE TREATED WOOD
CLG CEILING	P.V.G. POLYVINYL CHLORIDE PIPE
CLR CLEAR	P.V.M.T. PAVEMENT
CMU CONCRETE MASONRY UNIT	P.W. FIRE WIRE
COL COLUMN	P.W. FLYWOOD
CONC CONCRETE	R RISER
C CARPET	RAG RETURN AIR GRILL
CR CORROSION RESISTANT	STR STRUCTURAL
CMT CEMENT	S SOUTH
C.T. CERAMIC TILE	SD SMOKE DETECTOR
D DRYER	S.F. SQUARE FEET
DBL DOUBLE	S.G.D. SLIDING GLASS DOOR
DH DOUBLE HUNG	SH SINGLE HUNG OR SHELF
DM DIMENSION	SHM SIMILAR
DISP DISPOSAL	SL SLOPE / SLIDING
DN DOWN	SHP SHELF AND POLE
DR DOOR	SPEC SPECIFICATIONS
DS DOWNSPOUT	STD STANDARD
DW DISH WASHER	STR STRUCTURAL
DWG DRAWING	SQ SQUARE
E EAST	SYM SYMBOL
EA EACH	S45 SMOOTH FOUR SIDES
ELEV ELEVATION	T TREAD (AT STAIRS) OR TILE
ELEC ELECTRICAL	TEMP TEMPERED (GLASS)
EQ EQUAL	T&G TONGUE & GROOVE
EXT EXTERIOR	T.O.C. TOP OF CURB
FAU FORCED AIR UNIT	TV TELEVISION
F.C. FLOOR CHANGE	TYP TYPICAL
F.D. FLOOR DRAIN	UNO. UNLESS NOTED OTHERWISE
FFL FINISH FLOOR LINE	V.B. VAPOR BARRIER
F.G. FINISHED GRADE	VERT VERTICAL
FLR FLOORING	V.T.R. VENT THRU ROOF
FL FLOURESCENT (LIGHT)	W WASHING MACHINE
FND FOUNDATION	WD WOOD
F.O.S. FACE OF STUD	WDR WINDOW
FIG FOOTING	WH WATER HEATER
FX FIXED GLASS	W IROUGHT IRON
GALV GALVANIZED	WIC WALK-IN CLOSET
GAR GARAGE	W/O WITH OR WITHOUT
G.B. GYPSUM BOARD	W.P. WATERPROOFING
GD GRADE OR GRADING	WM WELDED WIRE MESH
G.D.O. GARAGE DOOR OPENER	IL PROPERTY LINE
GT GROUND FAULT INTERRUPTER	Ø ROUND / DIAMETER
GL GLASS OR GLAZING	∠ AND
GYP BD GYPSUM BOARD	∠ CENTERLINE
HB HOSE BIBB	∩ FOUND / NUMBER
HD HEAD OR HARD	
HDR HEADER	
HGT HEIGHT	
HVAC HEATING/VENTILATING/AIR COND.	
HWD HARDWOOD	
INT INTERIOR	
JST JOIST	
JT JOINT	
KIT KITCHEN	

INDEX

MODEL 'ELSTON -E'	
0	TITLE SHEET / COVER SHEET
1 F	FRONT ELEVATION 'F'
1,2 F	ROOF PLAN 'F'
2 F	SIDE AND REAR ELEVATIONS 'F'
3 MS F	MONOLITHIC SLAB PLAN 'F'
4 F	1ST FLOOR PLAN 'F'
5 F	1ST FLOOR PLAN 'F'
1 AS	BUILDING SECTIONS
2.1	ELEVATION OPTIONS
2.2	ELEVATION OPTIONS
6	1ST FLOOR UTILITY PLAN
7	2ND FLOOR UTILITY PLAN
D-1	DETAILS
D-1.1	DETAILS
D-2	DETAILS
D-3	DETAILS
D-4	DETAILS
D-5	DETAILS
D-8	DETAILS
D-4	DETAILS
20	ARCHITECTURAL SHEETS

BUILDING CODE COMPLIANCE / PROJECT INFORMATION 2018

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES:
 FOLLOW ALL APPLICABLE STATE AND LOCAL CODES, ALABAMA STATE SUPPLEMENTS AND AMENDMENTS 2012

2018- INTERNATIONAL RESIDENTIAL CODE (BUILDING)
 2018- INTERNATIONAL FIRE PREVENTION CODE
 2018- INTERNATIONAL PLUMBING CODE (BUILDING)
 2018- INTERNATIONAL MECHANICAL CODE (BUILDING)
 2018- INTERNATIONAL FUEL GAS CODE (BUILDING)
 2018- INTERNATIONAL ENERGY CONSERVATION CODE (BUILDING)
 2017- NATIONAL ELECTRICAL CODE

PRODUCT:
 SINGLE FAMILY RESIDENCE

OCCUPANCY CLASSIFICATION
 RESIDENTIAL R-3

CONSTRUCTION TYPE:
 TYPE VB

ALL CONSULTANT DRAWINGS ACCOMPANYING THESE ARCHITECTURAL DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUP, INC. GMD DESIGN GROUP, INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS.

PLAN CHANGES:

DATE:	DESCRIPTION:
04.23.15	CLIENT REVISIONS TO HVAC CLOSETS, GENERAL ROOF CONSTRUCTION AND WINDOW GRID PATTERNS
08.27.15	SPLITTING SET INTO ELEVATION SPECIFIC SETS
08.27.15	UPDATING BRICK PER CLIENT REVISION
09.14.17	REVISED ELEVATION 'A' AND 'B'
02.22.18	ADDED VAULTED CEILING
05.20.18	DIMENSIONED KITCHEN ISLAND
03.02.20	CLIENT REVISIONS
07.16.21	UPDATE CODE REFERENCES
04.24.22	VALUE ENGINEERING
11.10.22	CLIENT REVISIONS
11.28.22	CLIENT REVISIONS
01.04.23	CLIENT REVISIONS
02.02.23	CLIENT REVISIONS
02.13.23	CLIENT REVISIONS
08.08.23	CLIENT REVISIONS
10.30.23	CLIENT REVISIONS

CONSULTANTS:

BUILDER: DR HORTON 2188 PARKWAY LAKE DRIVE SUITE 200 HOOVER, AL PHONE: (770) 730-7400 CONTACT: GENE VANDEVENDER EMAIL: GVANDEVENDER@DRHORTON.COM	DESIGNER: GMD DESIGN GROUP 1138 SATELLITE BLVD. STE 300 SUWANEE, GA. 30024 PHONE: (770) 375-1351 CONTACT: DONALD J. McGRATH EMAIL: DONNIE@GMDDESIGNGROUP.COM
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GENERAL NOTES DESIGNER:

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.

ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.

ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.

PROVIDE FIREBLOCKING. (PER LOCAL CODES)

ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TONEL BAR, TONEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.

ELASTOMERIC SHEET WATERPROOFING: FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL. SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL. INSTALL PER MANUFACTURER'S AND TRADE ASSOCIATION'S PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.

TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.

SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.

DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

BUILDER SET:

THE BUILDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.

ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.

PROVIDE AN APPROVED WASHER DRAIN PAN AT SECOND FLOOR ONLY THAT DRAINS TO EXTERIOR.

WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EXCESS OPENING OF 5.750 FT WITH MIN. DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH. SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR. (PER LOCAL CODES)

ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER LOCAL CODES)

PROVIDE STAIR HANDRAILS AND GUARDRAILS PER LOCAL CODES

AREA CALCULATIONS:

MODEL 'ELSTON' SQUARE FOOTAGES	
AREA	ELEV F'
1st FLOOR	874 SF
2nd FLOOR	1300 SF
TOTAL LIVING	2174 SF
GARAGE	434 SF
PORCH	32 SF
OPT. COVERED PORCH	150 SF

CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY, WHERE QUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK. WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE, PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT, WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL, AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE GMD DESIGN GROUP BEFORE PROCEEDING.

NO:	DATE:	REVISION:
△	10.21.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

CLIENTS NAME:



PROJECT NO: GMD-6A14065

SHEET TITLE:
TITLE SHEET

PRINT DATE:
 September 13, 2017

SHEET NO:
 0 29

FOR CONSTRUCTION

NO.	DATE:	REVISION:
△	10.21.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

FOR CONSTRUCTION

CLIENTS NAME:

D·R·HORTON
America's Builder

PROJECT NO: GMD-GA14065

SHEET TITLE:
'ELSTON'
EXTERIOR ELEVATIONS
'3DEF-F'

PRINT DATE:
September 13, 2017

SHEET NO:
1F 30

NOTES: IRC

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: FITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER, DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY:
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

KEY NOTES:

MASONRY:

- ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 8" SOLDIER COURSE.
- ROWLOCK COURSE
- DECORATIVE KEY. SEE DETAIL.

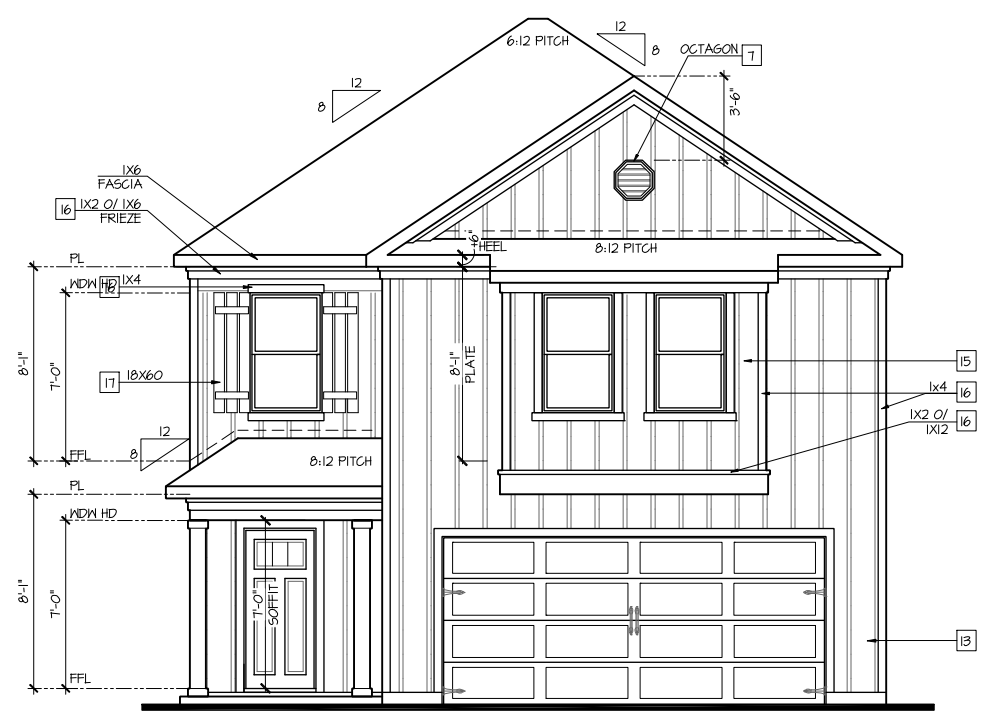
TYPICALS:

- CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
- CODE APPROVED TERMINATION CHIMNEY CAP.
- CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
- STANDING SEAM METAL ROOF. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- DECORATIVE WROUGHT IRON. SEE DETAILS.

SIDING:

- FIBER CEMENT SHAKE SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
- FIBER CEMENT LAP SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
- FIBER CEMENT WAVY SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
- FIBER CEMENT PANEL SIDING W/ 1X3 BATTIS AT 12" O.C.
(VINYL BOARD AND BATT SIDING)
- IX FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
- FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH LOCAL CODES



Front Elevation 'F'
SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT

NOTES: IRC

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- WINDOW HEAD HEIGHTS:
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- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
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- PROTECTION AGAINST DECAY:
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

KEY NOTES:

MASONRY:

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- MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 8" SOLDIER COURSE.
- ROWLOCK COURSE
- DECORATIVE KEY. SEE DETAIL.

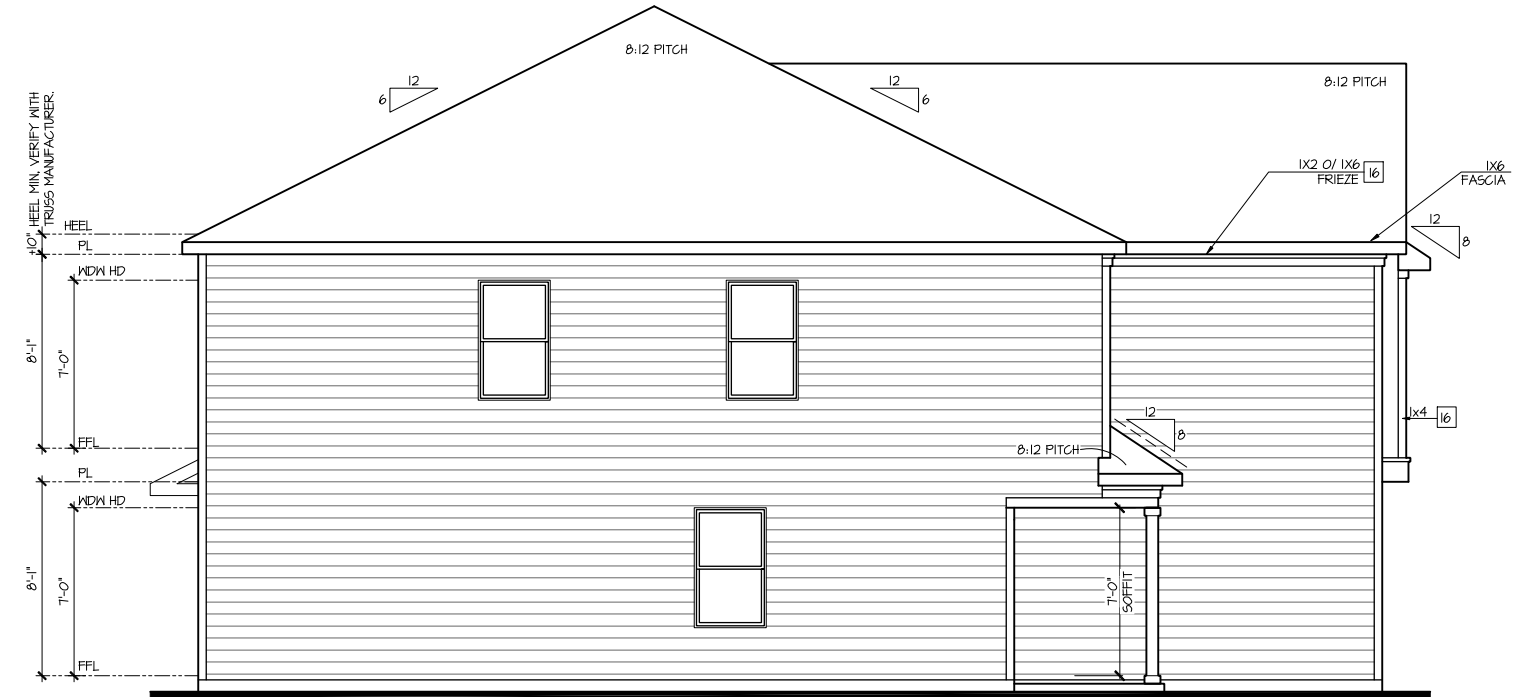
TYPICALS:

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- STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- DECORATIVE WROUGHT IRON. SEE DETAILS.

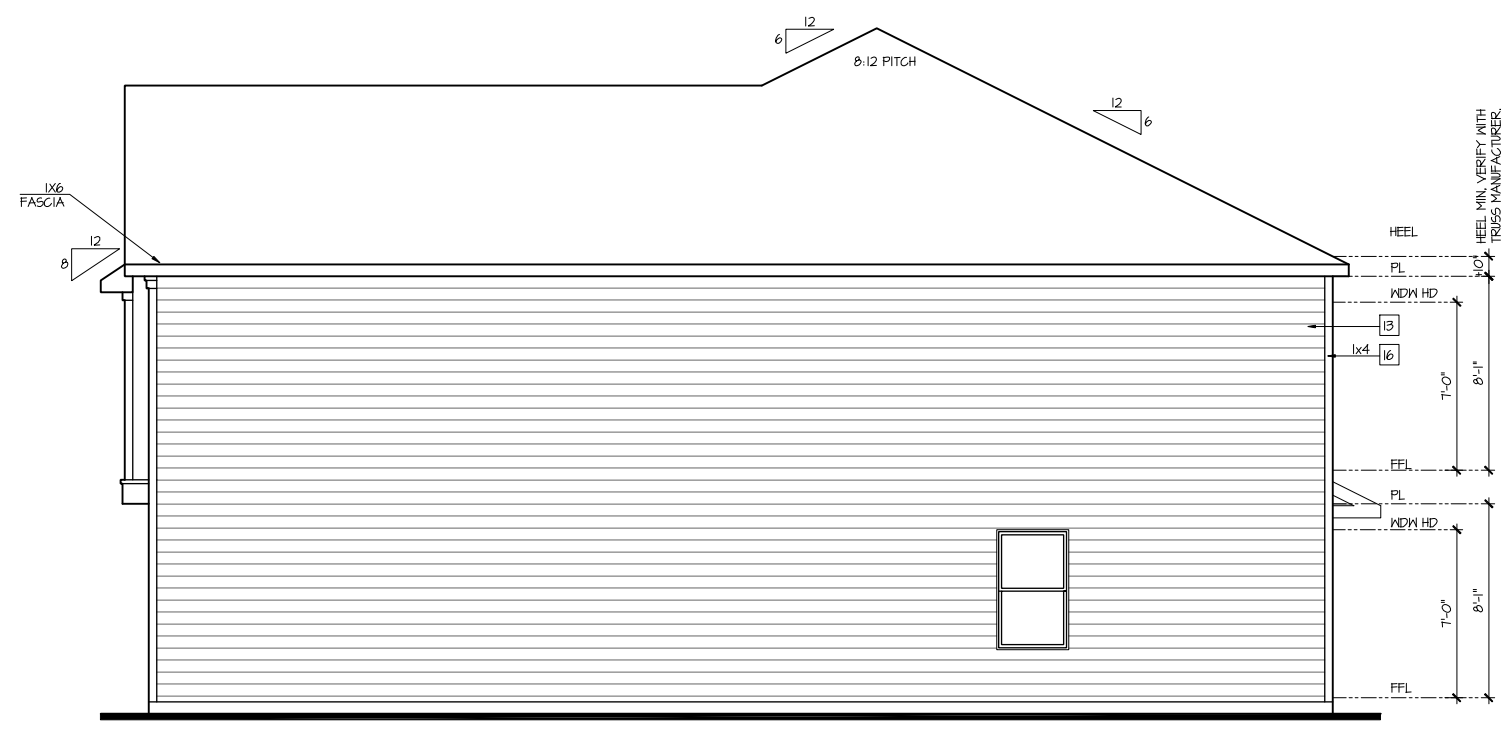
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- FIBER CEMENT WAVY SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS.
- FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (VINYL BOARD AND BATT SIDING)
- 1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
- FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH LOCAL CODES



Left Elevation 'F'
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



Right Elevation 'F'
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



Rear Elevation 'F'
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT

NO:	DATE:	REVISION:
1	10.21.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

FOR CONSTRUCTION

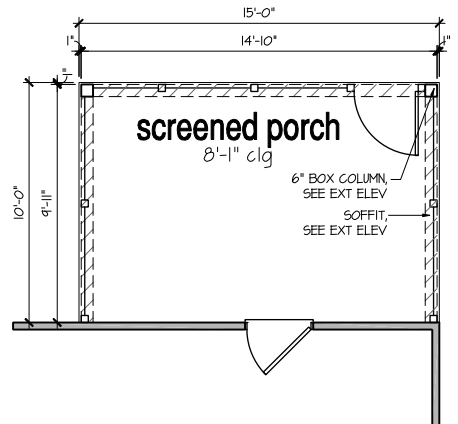
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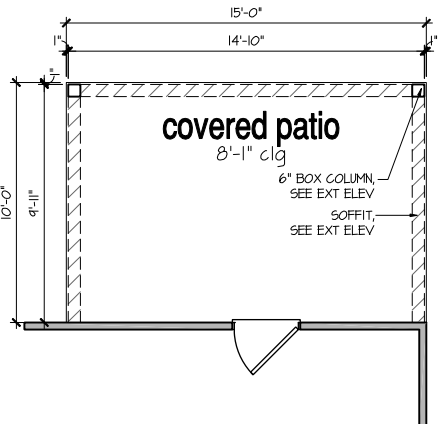
PROJECT NO: GMD-GA14065

SHEET TITLE:
'ELSTON' EXTERIOR ELEVATIONS '3DEF-F'

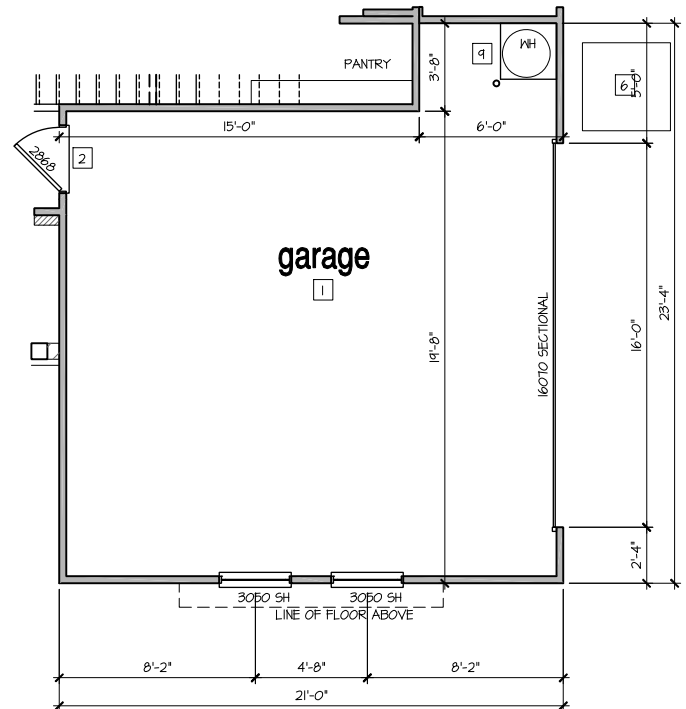
PRINT DATE:
September 13, 2017



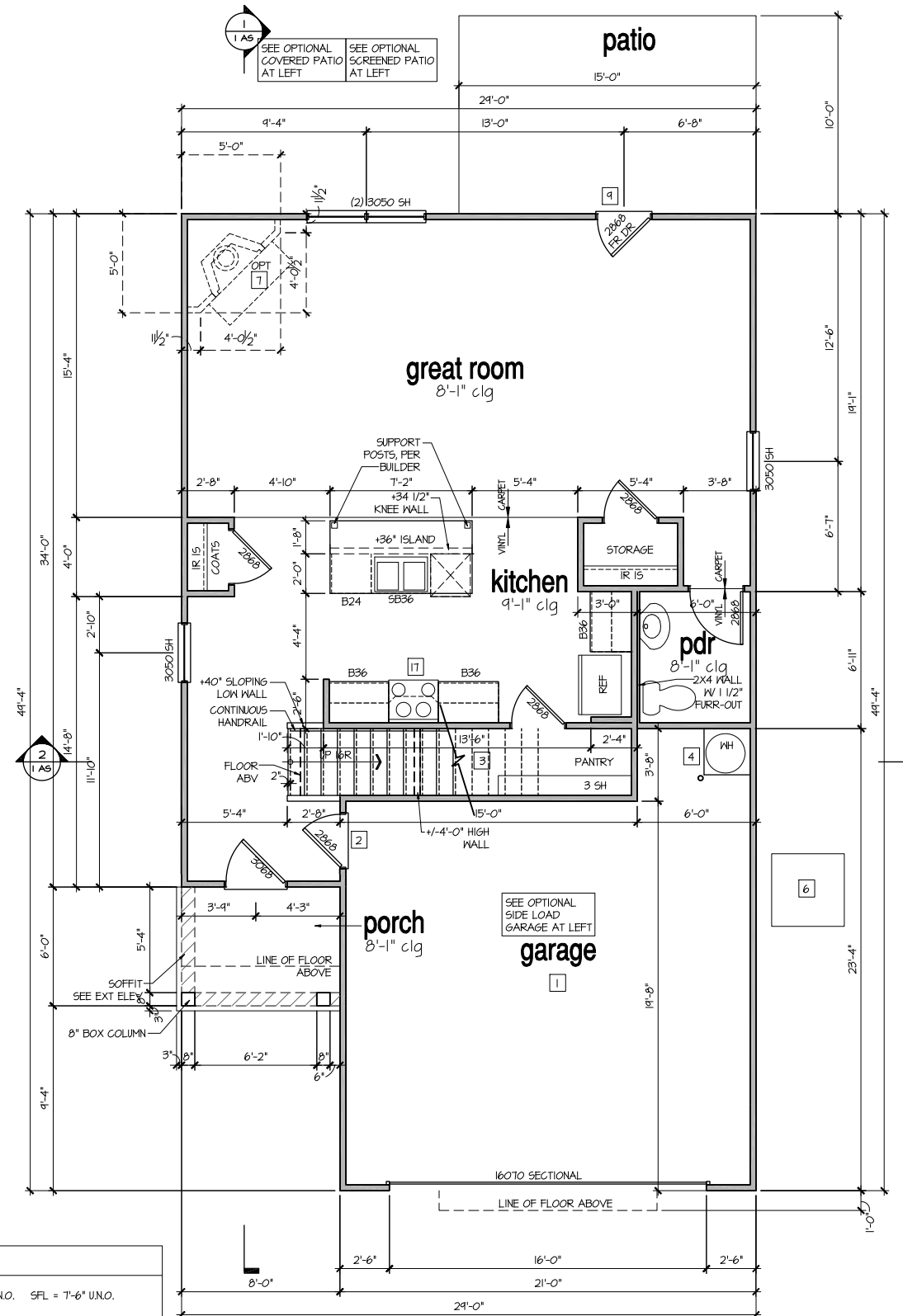
Opt Screened Porch
SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT



Opt Covered Porch
SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT



Opt Side Load Garage 'F'
SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT



1st Floor Plan 'F'
SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

8'-1" STAIR NOTE:
(USE 16" TJI WITH 3/4" PLYWOOD SUBFLOOR)
15 TREADS AT 10" UNO. ON ELEVATIONS.
16 RISERS AT +/- TJI" = 113 3/4" TOTAL RISE VERIFY

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 7'-0" UNO. ON ELEVATIONS.
2ND FLOOR = 7'-0" UNO. ON ELEVATIONS.
ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

WALL LEGEND:

	FULL HEIGHT 2X4 WOOD STUD PARTITION		FULL HEIGHT 2X6 WOOD STUD PARTITION
	BRICK / STONE VENEER		STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED		DRYWALL OPENING, HEIGHT AS NOTED ON PLAN

- KEY NOTES: IRC**
- FIRE PROTECTION:**
- 1 HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER IRC SECTION R302.6)
 - 2 GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. (PER IRC SECTION R302.6)
 - 3 HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER IRC SECTION R302.5.1)
 - 4 BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER IRC SECTION R302.7)
 - 5 MEPS
 - 6 GAS WATER HEATER ON 18" HIGH PLATFORM. (PER IRC SECTION P2801.6)
- 7 FAU 8'X8' PLATFORM. VERIFY WITH TRUSS MANUFACTURER. (6'-6" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2'X6" OVER 2'X4" BOTTOM CHORD. OF TRUSSES, VERIFY W/ TRUSSES.)
 - 8 A/C CONDENSER PAD. (VERIFY)
 - 9 PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 10 ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"X22". FIRE RATED ACCESS AS NOTED. (PER IRC SECTION M1305.1.3) ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" X 54" SIZE.) TYPICALS.
 - 11 TEMPERED SAFETY GLASS. (PER IRC SECTION R308.4)
 - 12 PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
 - 13 HALF WALL, HEIGHT AS NOTED.
- 14 INTERIOR SOFFITS: FFL = 7'-6" UNO. SFL = 7'-6" UNO.
 - 15 BATHS:
 - 16 SHOWER. TEMPERED GLASS ENCLOSURE.
 - 17 TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE.
 - 18 CERAMIC TILE SHOWER AND FLOOR. TEMPERED GLASS ENCLOSURE.
 - 19 ACRYLIC TUB W/ CERAMIC PLATFORM
- 20 KITCHEN:
 - 21 30" SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 22 30" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 23 ELECTRIC OVEN WITH MICROWAVE OVEN.

NO.	DATE	REVISION
1	10.21.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

CLIENTS NAME:

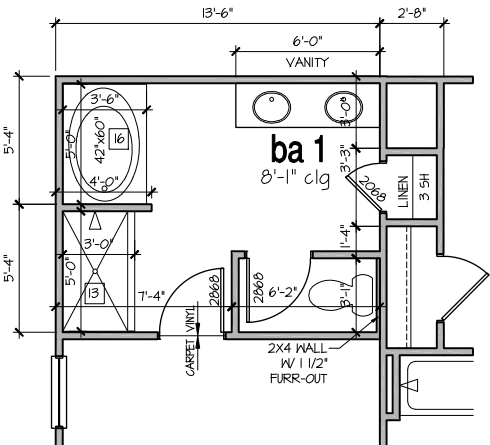
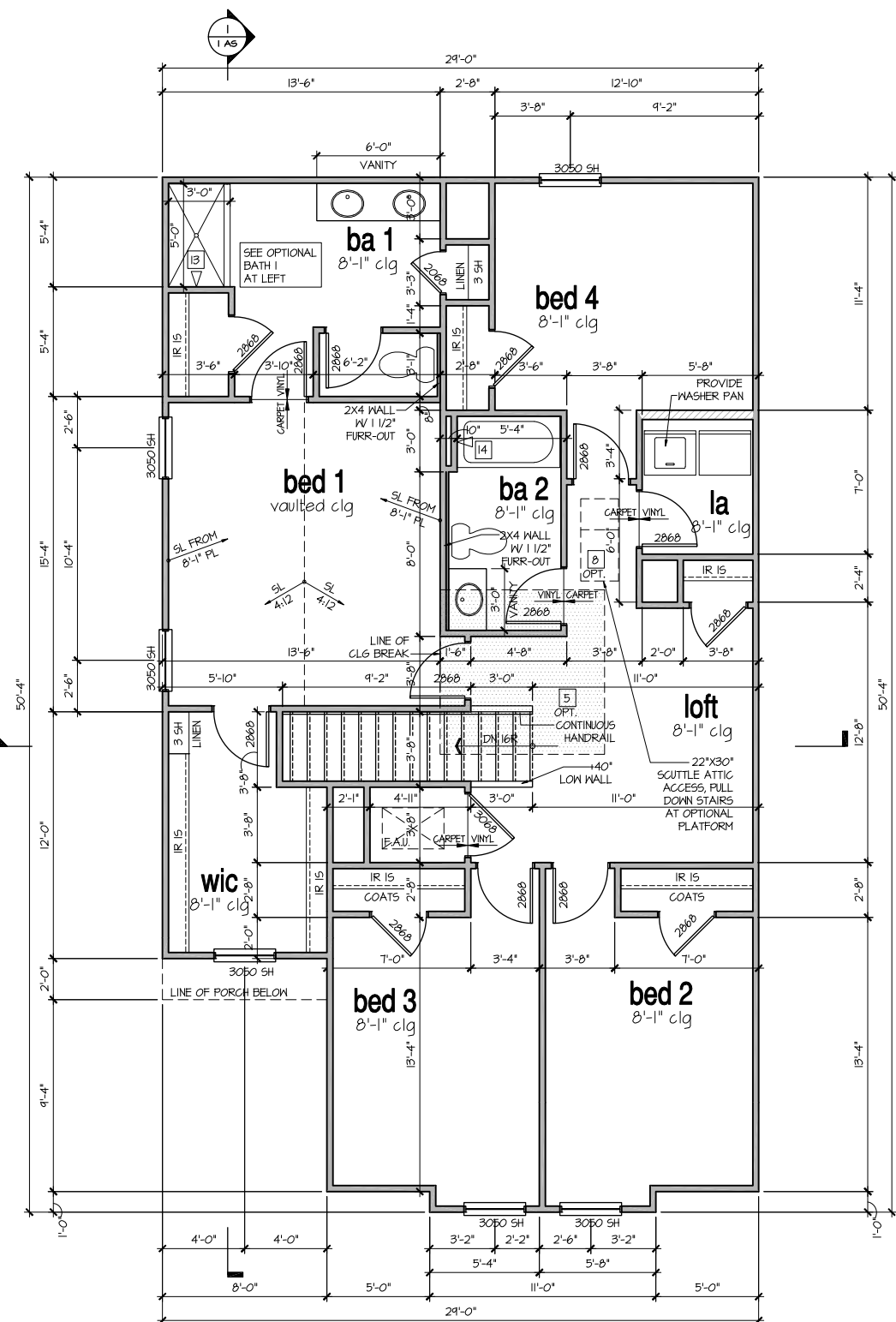
D-R HORTON
America's Builder

PROJECT NO: 6MD-6A14065

SHEET TITLE:
'ELSTON'
1st FLOOR
PLAN '3DEF-F'

PRINT DATE:
September 13, 2017

FOR CONSTRUCTION



Opt Bath 1
SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

8'-1" STAIR NOTE:
(USE 16" T.J.I WITH 3/4" PLYWOOD SUBFLOOR)
15 TREADS AT 10" EACH VERIFY
16 RISERS AT +/- 7.11" = 113 3/4" TOTAL RISE VERIFY

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

WALL LEGEND:

	FULL HEIGHT 2x4 WOOD STUD PARTITION		FULL HEIGHT 2x6 WOOD STUD PARTITION
	BRICK / STONE VENEER		STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED		DRYWALL OPENING HEIGHT AS NOTED ON PLAN

- KEY NOTES: IRC**
- FIRE PROTECTION:**
- 1 HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER IRC SECTION R302.6)
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 - 4 BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER IRC SECTION R302.7)
 - 5 MEPS
 - 6 GAS WATER HEATER ON 18" HIGH PLATFORM. (PER IRC SECTION P2801.6)
- 5** FAU 8'X8' PLATFORM. VERIFY WITH TRUSS MANUFACTURER. (6'-6" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2'X6" OVER 2'X4" BOTTOM CHORD, OF TRUSS, VERIFY W/ TRUSSES.)
- 6** A/C CONDENSER PAD. (VERIFY)
- 7** PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 8** ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x22". FIRE RATED ACCESS AS NOTED. (PER IRC SECTION M305.1.3) ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" X 54" SIZE) TYPICALS:
- 9** TEMPERED SAFETY GLASS. (PER IRC SECTION R308.4)
- 10** PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
- 11** HALF WALL, HEIGHT AS NOTED.
- 12** INTERIOR SOFFITS: FFL = 7'-6" U.N.O. SFL = 7'-6" U.N.O. BATHS:
- 13** SHOWER, TEMPERED GLASS ENCLOSURE.
- 14** TUB-SHOWER COMBO, TEMPERED GLASS ENCLOSURE.
- 15** CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
- 16** ACRYLIC TUB W/ CERAMIC PLATFORM
- KITCHEN:**
- 17** 30" SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 18** 30" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 19** ELECTRIC OVEN WITH MICROWAVE OVEN.

2nd Floor Plan 'F'
SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

NO.	DATE	REVISION
1	10.21.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

CLIENTS NAME:



PROJECT NO: GMD-GA14065

SHEET TITLE:
'ELSTON' 2nd FLOOR PLAN '3DEF-F'

PRINT DATE:
September 13, 2017

SHEET NO:
5 | 33

FOR CONSTRUCTION

24' Townhomes

Columbus Division

MODEL ONLY SET

Model Pattison

ABBREVIATIONS	INDEX
<p>ABV ABOVE</p> <p>AC AIR CONDITIONING</p> <p>AD AREA DRAIN</p> <p>ADJ ADJUSTABLE</p> <p>ALT ALTERNATE</p> <p>ALUM ALUMINUM</p> <p>ARCH ARCHITECTURAL</p> <p>BA BATHROOM</p> <p>BD BOARD</p> <p>BF BI-FOLD (DOOR)</p> <p>BLDG BUILDING</p> <p>BLK BLOCK (CMU)</p> <p>BLM BELM</p> <p>BM BEAM</p> <p>BP BI-PASS (DOOR)</p> <p>BOT BOTTOM</p> <p>BTWN BETWEEN</p> <p>CAB CABINET</p> <p>CER CERAMIC</p> <p>C.J. CONTROL JOINT OR CONSTRUCTION JOINT</p> <p>CL CLOSET OR CENTER LINE</p> <p>CLS CEILING</p> <p>CLR CLEAR</p> <p>CMU CONCRETE MASONRY UNIT</p> <p>COL COLUMN</p> <p>CONC CONCRETE</p> <p>C CARPET</p> <p>CR CORROSION RESISTANT</p> <p>CSMT CASHEMNT</p> <p>C.T. CERAMIC TILE</p> <p>D DRYER</p> <p>DBL DOUBLE HUNG</p> <p>DM DIMENSION</p> <p>DISP DISPOSAL</p> <p>DN DOWN</p> <p>DR DOOR</p> <p>DS DOWNSPOUT</p> <p>DW DISH WASHER</p> <p>DWG DRAWING</p> <p>E EAST</p> <p>EA EACH</p> <p>ELEV ELEVATION</p> <p>ELEC ELECTRICAL</p> <p>EQ EQUAL</p> <p>EXT EXTERIOR</p> <p>FAU FORCED AIR UNIT</p> <p>F.C. FLOOR CHANGE</p> <p>F.D. FLOOR DRAIN</p> <p>FFL FINISH FLOOR LINE</p> <p>F.S. FINISHED GRADE</p> <p>FLR FLOOR(ING)</p> <p>FL FLOURESCENT (LIGHT)</p> <p>FND FOUNDATION</p> <p>F.O.S. FACE OF STUD</p> <p>FTG FOOTING</p> <p>FX FIXED GLASS</p> <p>GALV GALVANIZED</p> <p>GAR GARAGE</p> <p>G.B. GYPSUM BOARD</p> <p>GD GRADE OR GRADING</p> <p>G.D.O. GARAGE DOOR OPENER</p> <p>GTI GROUND FAULT INTERRUPTER</p> <p>GL GLASS OR GLAZING</p> <p>GYP BD GYPSUM BOARD</p> <p>HB HOSE BIBB</p> <p>HD HEAD OR HARD</p> <p>HDR HEADER</p> <p>HST HEIGHT</p> <p>HVAC HEATING/VENTILATING/AIR COND.</p> <p>HND HARDWOOD</p> <p>INT INTERIOR</p> <p>JST JOIST</p> <p>JT JOINT</p> <p>KIT KITCHEN</p> <p>L LENGTH</p> <p>LA LAUNDRY</p> <p>LAV LAVATORY</p> <p>LVR LOUVER</p> <p>MAX MAXIMUM</p> <p>MECH MECHANICAL</p> <p>MFR. MANUFACTURER</p> <p>MIN MINIMUM</p> <p>MISC MISCELLANEOUS</p> <p>N NORTH</p> <p>N.T.S. NOT TO SCALE</p> <p>O.S.D. OVERHEAD GARAGE DOOR</p> <p>OH OVERHEAD</p> <p>OPT OPTIONAL</p> <p>PAR PARALLEL</p> <p>P.B. PUSH BUTTON</p> <p>PDR POWDER</p> <p>PED PEDESTAL</p> <p>PL PLATE</p> <p>FR PAIR</p> <p>P.T. PRESSURE TREATED WOOD</p> <p>P.V.C. POLYVINYL CHLORIDE PIPE</p> <p>P.V.M.T. PAVEMENT</p> <p>P.W. FIRE WIRE</p> <p>P.W.D. PLYWOOD</p> <p>R RISER</p> <p>RAG RETURN AIR GRILL</p> <p>REF REFERENCE</p> <p>REFR REFRIGERATOR</p> <p>REQ REQUIRED</p> <p>S SOUTH</p> <p>SD SMOKE DETECTOR</p> <p>S.F. SQUARE FEET</p> <p>S.G.D. SLIDING GLASS DOOR</p> <p>SH SINGLE HUNG OR SHELF</p> <p>SHM SIMLAR</p> <p>SL SLOPE / SLIDING</p> <p>SHIP SHELF AND POLE</p> <p>SPEC SPECIFICATIONS</p> <p>STD STANDARD</p> <p>STR STRUCTURAL</p> <p>SQ SQUARE</p> <p>SYM SYMBOL</p> <p>S45 SMOOTH FOUR SIDES</p> <p>T TREAD (AT STAIRS) OR TILE</p> <p>TB TONEL BAR</p> <p>TEMP TEMPERED (GLASS)</p> <p>T&G TONGUE & GROOVE</p> <p>T.O.C. TOP OF CURB</p> <p>TV TELEVISION</p> <p>TYP TYPICAL</p> <p>UNO. UNLESS NOTED OTHERWISE</p> <p>V.B. VAPOR BARRIER</p> <p>VERT VERTICAL</p> <p>V.T.R. VENT THRU ROOF</p> <p>W WASHING MACHINE</p> <p>WD WOOD</p> <p>WDM WINDOW</p> <p>WH WATER HEATER</p> <p>W IROUGHT IRON</p> <p>W.N.O. WITH OR WITHOUT</p> <p>W.P. WATERPROOFING</p> <p>W.M. WELDED WIRE MESH</p> <p>PL PROPERTY LINE</p> <p>Ø ROUND / DIAMETER</p> <p>∩ AND</p> <p>CL CENTERLINE</p> <p># FOUND / NUMBER</p>	<p>MODEL - PATTISON</p> <p>T-1 TITLE SHEET / COVER SHEET</p> <p>A-1.0 SLAB PERIMETER PLAN</p> <p>A-1.1 1ST FLOOR PLAN</p> <p>A-1.2 2ND FLOOR PLAN</p> <p>A-1.4 SECTIONS</p> <p>A-1.5 EXTERIOR ELEVATIONS 'A-1'</p> <p>A-1.5.1 EXTERIOR ELEVATIONS 'A-2'</p> <p>A-1.5.2 EXTERIOR ELEVATIONS 'A-3'</p> <p>A-1.5.3 EXTERIOR ELEVATIONS 'A-4'</p> <p>A-1.5.4 EXTERIOR ELEVATIONS 'A-5'</p> <p>A-1.5.5 EXTERIOR ELEVATIONS</p> <p>A-1.5.6 ROOF PLAN 'A'</p> <p>A-1.5.7 ENHANCED EXTERIOR ELEVATIONS</p> <p>A-1.5.8 ENHANCED EXTERIOR ELEVATIONS</p> <p>E-1.0 1ST FLOOR UTILITY PLAN</p> <p>E-2.0 2ND FLOOR UTILITY PLAN</p> <p>FP-1 FIRE-PROTECTION DETAILS</p> <p>FP-2 FIRE-PROTECTION DETAILS</p> <p>FP-3 FIRE-PROTECTION DETAILS</p> <p>FP-4 FIRE-PROTECTION DETAILS</p> <p>FP-5 FIRE-PROTECTION DETAILS</p> <p>FP-6 FIRE-PROTECTION DETAILS</p> <p>22 TOTAL SHEETS</p>

ALL CONSULTANT DRAWINGS ACCOMPANYING THESE DESIGN DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUP OF GEORGIA, INC. GMD DESIGN GROUP OF GA INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS THAT ARE PREPARED BY OTHER CONSULTANTS.

BUILDING CODE COMPLIANCE / PROJECT INFORMATION
<p>ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.</p> <p>APPLICABLE CODES: FOLLOW ALL APPLICABLE STATE AND LOCAL CODES. OHIO STATE SUPPLEMENTS AND AMENDMENTS 2019- RESIDENTIAL CODE OF OHIO - (2019 RCO)</p> <p>PRODUCT: TOWNHOMES</p> <p>OCCUPANCY CLASSIFICATION RESIDENTIAL R-3</p> <p>CONSTRUCTION TYPE: TYPE VB (2 HOUR DWELLING SEPARATION BETWEEN UNITS.)</p>

REFER TO STRUCTURAL PLANS FOR INFO NOT CALLED OUT HERE.

PLAN CHANGES:	
DATE:	DESCRIPTION:
04.04.23	INITIAL PLAN RELEASE

CONSULTANTS:			
LOCAL JURISDICTION:	BUILDER:	DESIGNER:	STRUCTURAL ENGINEER:
	DR HORTON - NORTH REGION EXPRESS HOMES 4555 S. KINGSTON CT, SUITE 200 ENGLEWOOD, CO. 80112 PHONE: (914) 998-8444	GMD DESIGN GROUP 1845 SATELLITE BLVD. STE 850 SUWANEE, GA. 30097 PHONE: (770) 375-1351	
	CONTACT: JOHN DIENES EMAIL: JMDIENES@DRHORTON.COM	CONTACT: DONALD J. McGRATH EMAIL: DONNIE@GMDDESIGNGROUP.COM	

NO:	DATE:	REVISION:
△	04.04.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
Townhome Series (Ohio) Pattison

CLIENTS NAME:

PROJECT NO: GMD21038.3

SHEET TITLE:
TITLE SHEET

PRINT DATE:
April 04, 2023

SHEET NO:
T-34

FOR CONSTRUCTION

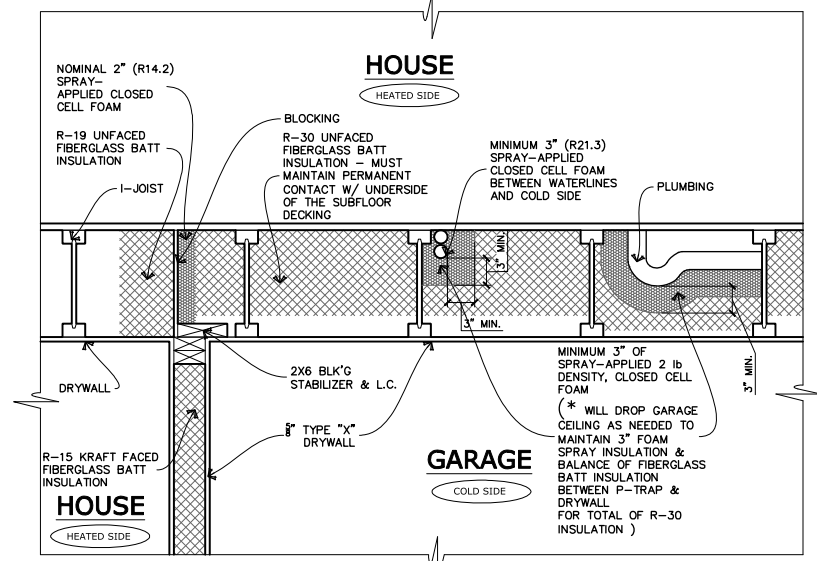
GENERAL NOTES DESIGNER: 2019 RCO
<p>THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.</p> <p>CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.</p> <p>ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.</p> <p>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.</p> <p>ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.</p> <p>ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.</p> <p>ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.</p> <p>ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.</p> <p>PROVIDE FIREBLOCKING. (PER IRC SECTION R302.11)</p> <p>ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.</p> <p>PROVIDE BLOCKING AND/OR BACKING AT ALL TONEL BAR, TONEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.</p> <p>ELASTOMERIC SHEET WATERPROOFING: FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL. SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL. INSTALL PER MANUFACTURER'S AND TRADE ASSOCIATION'S PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.</p> <p>TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.</p> <p>SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.</p> <p>DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.</p> <p>THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.</p>

BUILDER SET:
<p>THE BUILDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.</p> <p>ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.</p> <p>PROVIDE AN APPROVED WASHDR DRAIN PAN AT SECOND FLOOR ONLY THAT DRAINS TO EXTERIOR.</p> <p>WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ FT WITH MIN. DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH. SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR. (PER IRC SECTION R310.1.1)</p> <p>ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER IRC SECTION R312.1.3)</p> <p>PROVIDE STAIR HANDRAILS AND GUARDRAILS PER IRC SECTION R311.1.8 AND R312</p>

AREA CALCULATIONS:																
<p>THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A 'BUILDER'S SET' OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HERINAFTER REFERRED TO AS 'PLANS'. THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS, AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT / CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.</p> <p>CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY, WHERE QUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK. WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE, PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT; WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE GMD DESIGN GROUP BEFORE PROCEEDING.</p>																
<table border="1"> <thead> <tr> <th colspan="2">PLAN 'PATTISON' SQUARE FOOTAGES</th> </tr> <tr> <th>AREA</th> <th>ELEV 'A'</th> </tr> </thead> <tbody> <tr> <td>1st FLOOR</td> <td>642 SF</td> </tr> <tr> <td>2nd FLOOR</td> <td>1016 SF</td> </tr> <tr> <td>TOTAL LIVING</td> <td>1658 SF</td> </tr> <tr> <td>GARAGE</td> <td>343 SF</td> </tr> <tr> <td>PORCH</td> <td>25 SF</td> </tr> <tr> <td>COVERED PATIO AT ENHANCED REAR ELEVATIONS</td> <td>72 SF</td> </tr> </tbody> </table>	PLAN 'PATTISON' SQUARE FOOTAGES		AREA	ELEV 'A'	1st FLOOR	642 SF	2nd FLOOR	1016 SF	TOTAL LIVING	1658 SF	GARAGE	343 SF	PORCH	25 SF	COVERED PATIO AT ENHANCED REAR ELEVATIONS	72 SF
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PLUMBING PROTECTION DETAIL

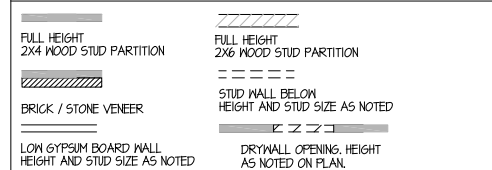
APPLICATION: CANTILEVERED AND FLOOR OVER GARAGE AREAS



9'-1\"/>

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 7'-0\"/>

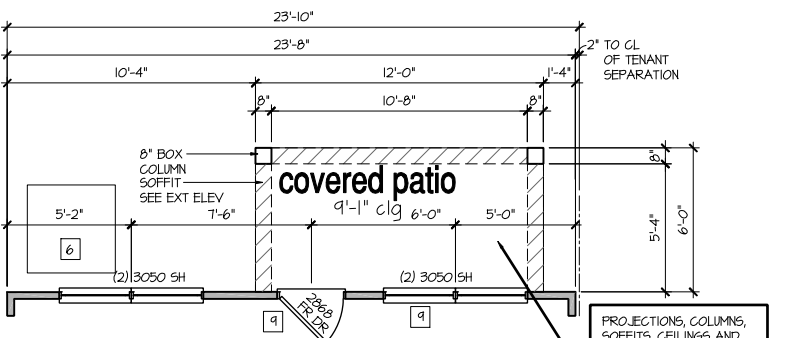
WALL LEGEND:



KEY NOTES:

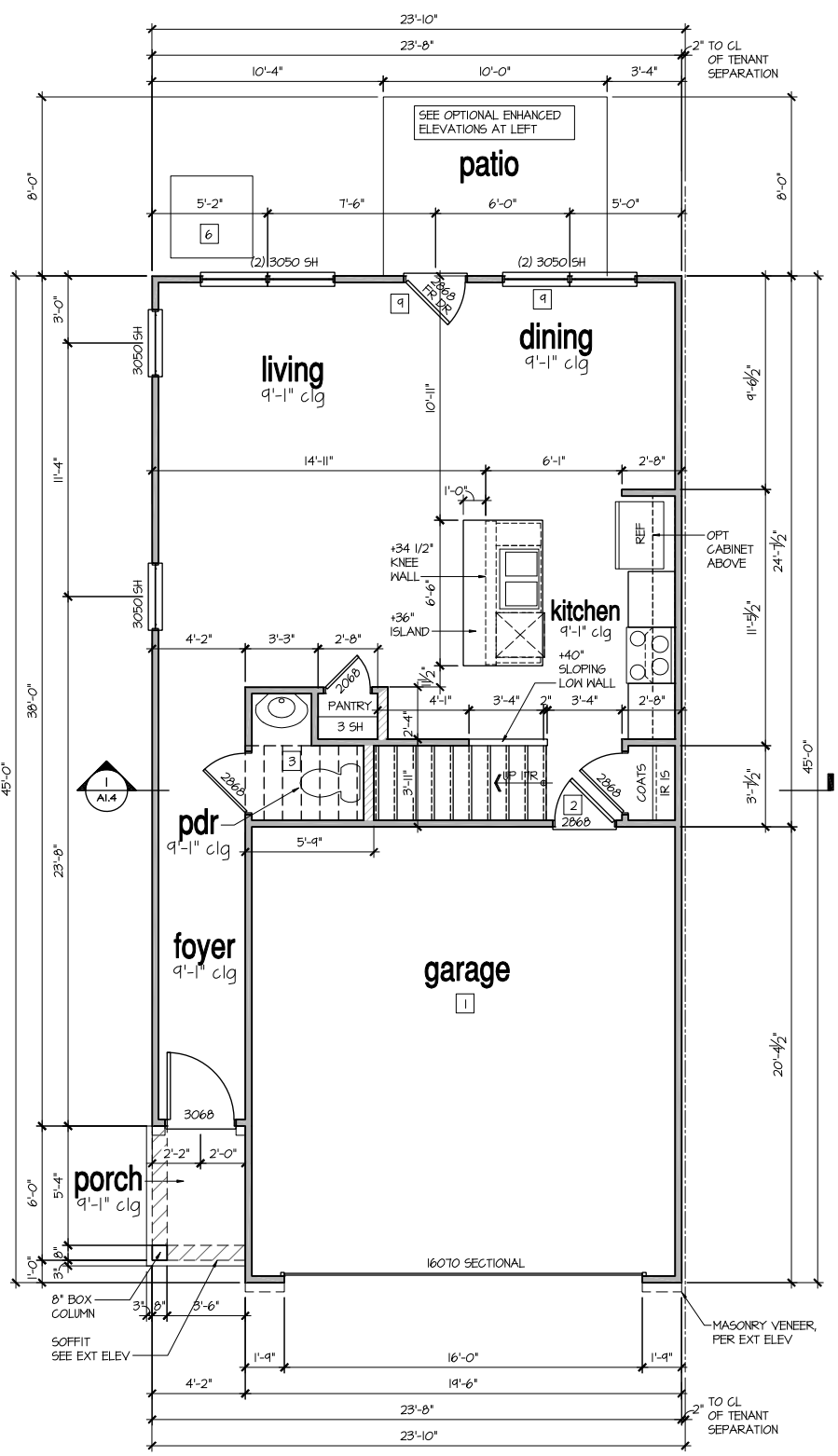
- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2\"/>
 - HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8\"/>
 - BENEATH STAIRS AND LANDINGS. 1/2\"/>
 - WATER HEATER, PER LOCAL CODES
 - N/A
 - A/C CONDENSER PAD. (VERIFY)
 - PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ATTIC ACCESS - REMOVABLE 22\"/>
- TYPICALS:**
- TEMPERED SAFETY GLASS. (PER LOCAL CODES)
 - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER, HEIGHT AS NOTED.
 - HALF WALL, HEIGHT AS NOTED.
 - INTERIOR SOFFITS: FFL = 7'-6\"/>
 - SHOWER.
 - TUB-SHOWER COMBO.
 - N/A
 - ACRYLIC TUB W/ CERAMIC PLATFORM
- KITCHEN:**
- OPTIONAL 30\"/>
 - 30\"/>
 - ELECTRIC OVEN WITH MICROWAVE OVEN.
 - LAUNDRY CLOSETS, AN OPENING HAVING AN AREA NOT LESS THAN 100 SQ IN SHALL BE PROVIDED IN THE CLOSET ENCLOSURE OR MAKEUP AIR SHALL BE PROVIDED BY OTHER APPROVED MEANS PER LOCAL CODES. COVERED DOORS OR PROVIDING A TRANSFER GRILLE ABOVE THE DOOR OR THE DOOR MAY BE UNDERCUT TO PROVIDE ADDITIONAL VENTILATION

PURPOSE: TO BRING THE PLUMBING INTO THE HEATED SPACE BY PROTECTING THE PLUMBING PIPING FROM AIR INFILTRATION AND THERMAL FAILURES. THE OHIO BUILDING CODE REQUIRES THAT PLUMBING PIPES ARE PROTECTED FROM FREEZING. THIS APPLICATION MEETS THAT REQUIREMENT AND ELIMINATES THE NEED FOR A HVAC BLEEDER AND A DROP OF THE GARAGE CEILING.



Rear Porch Condition At Enhanced Elevations

SCALE: 1/4\"/>



1st Floor Plan

SCALE: 1/4\"/>

NO.	DATE:	REVISION:
1	04.04.23	

PROFESSIONAL SEAL:

PROJECT TITLE:

Townhome Series (Ohio) Pattison

CLIENTS NAME:



PROJECT NO: GMD21038.3

SHEET TITLE:

1st FLOOR PLAN

PRINT DATE:
April 04, 2023

SHEET NO:
A1 35

FOR CONSTRUCTION

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

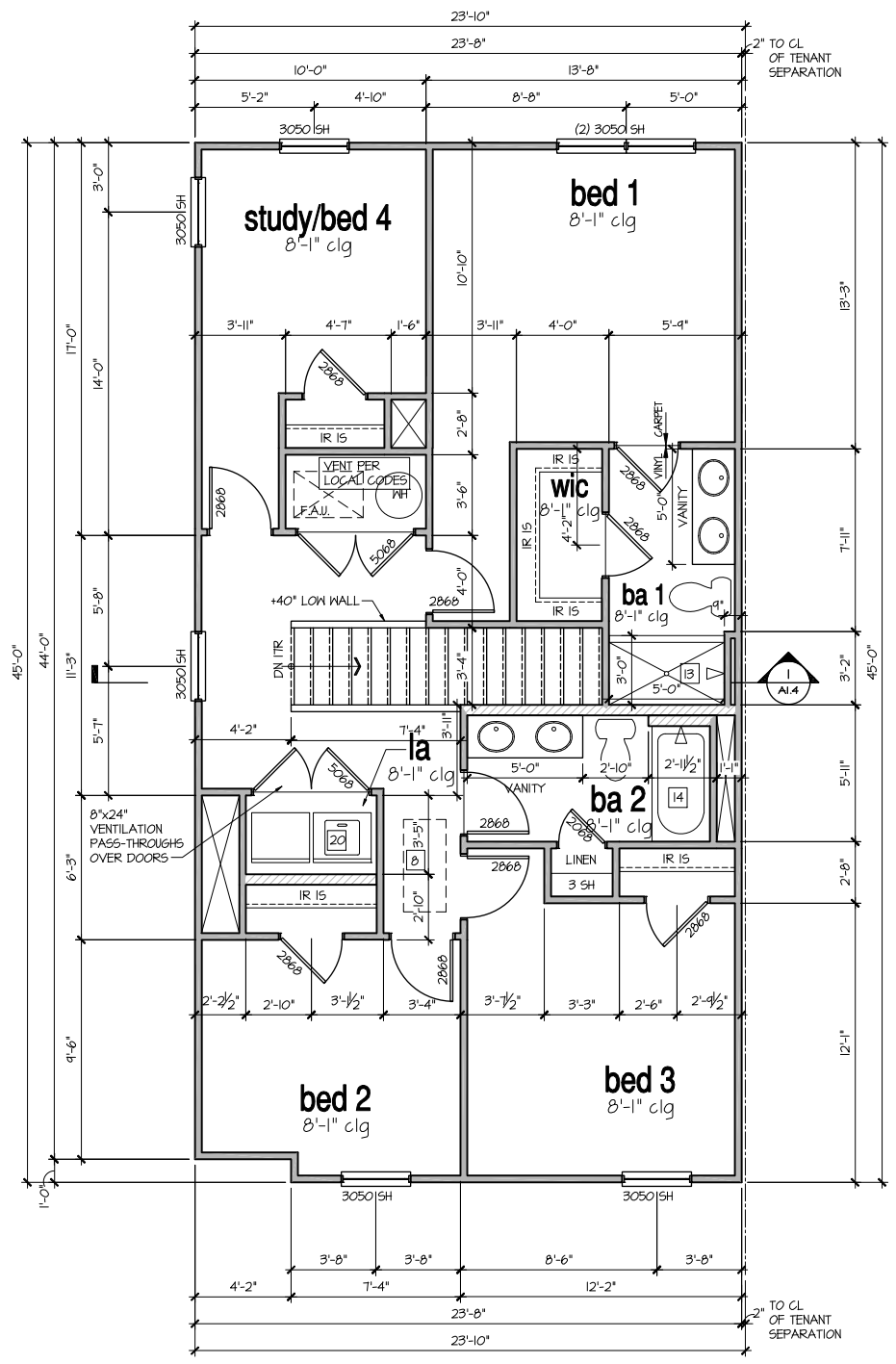
WALL LEGEND:

	FULL HEIGHT 2X4 WOOD STUD PARTITION		FULL HEIGHT 2X6 WOOD STUD PARTITION
	BRICK / STONE VENEER		STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED		DRYWALL OPENING HEIGHT AND STUD SIZE AS NOTED ON PLAN

KEY NOTES:

- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER LOCAL CODES)
 - GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. (PER LOCAL CODES)
 - HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER LOCAL CODES)
 - BENEATH STAIRS AND LANDINGS. 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER LOCAL CODES)
 - MEP'S
 - WATER HEATER, PER LOCAL CODES
 - N/A
- TYPICALS:**
- TEMPERED SAFETY GLASS. (PER LOCAL CODES)
 - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
 - HALF WALL, HEIGHT AS NOTED.
 - INTERIOR SOFFITS: FFL = 7'-6" U.N.O. SFL = 7'-6" U.N.O.
- BATHS:**
- SHOWER.
 - TUB-SHOWER COMBO.
 - N/A
 - ACRYLIC TUB W/ CERAMIC PLATFORM
- KITCHEN:**
- OPTIONAL 30" SLIDE-IN RANGE. PACKAGE PER BUILDER VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 30" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ELECTRIC OVEN WITH MICROWAVE OVEN.
 - LAUNDRY CLOSETS, AN OPENING HAVING AN AREA NOT LESS THAN 100 SQ IN SHALL BE PROVIDED IN THE CLOSET ENCLOSURE OR MAKEUP AIR SHALL BE PROVIDED BY OTHER APPROVED MEANS PER LOCAL CODES LOUVERED DOORS OR PROVIDING A TRANSFER GRILLE ABOVE THE DOOR OR THE DOOR MAY BE UNDERCUT TO PROVIDE ADDITIONAL VENTILATION

9'-1" STAIR NOTE:
 (USE 16" T.J. WITH 3/4" PLYWOOD SUBFLOOR)
 16 TREADS AT 10" EACH VERIFY
 11 RISERS AT 7 25/64" = 125 3/4" TOTAL RISE VERIFY



2nd Floor Plan

SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT

NO.	DATE	REVISION
1	04.04.23	

PROFESSIONAL SEAL:

PROJECT TITLE:

Townhome Series (Ohio) Pattison

CLIENTS NAME:



PROJECT NO: GMD21038.3

SHEET TITLE:

2nd FLOOR PLAN 'A'

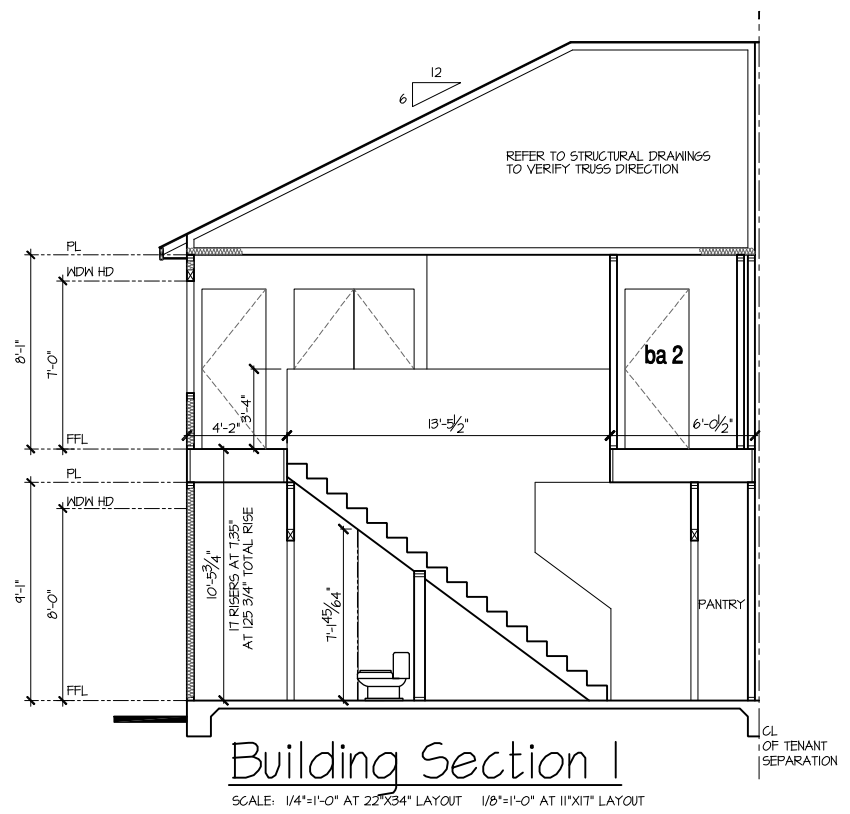
PRINT DATE:
April 04, 2023

SHEET NO:
A1 36

FOR CONSTRUCTION

9'-1" STAIR NOTE:
 (USE 16" T.J. WITH 3/4" PLYWOOD SUBFLOOR)
 16 TREADS AT 10" EACH VERIFY
 17 RISERS AT +/- 7.25/64" = 125 3/4" TOTAL
 RISE VERIFY

- NOTES:**
- REFER TO FLOOR PLAN NOTES FOR TYPICAL FIRE PROTECTION NOTES AND LOCATIONS.
 - THESE BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STYLES AND AT "PLAN OPTION" CONDITIONS. REFER TO MAIN FLOOR PLAN AND ALTERNATE FLOOR PLANS FOR INFORMATION NOT SHOWN HERE.
 - BUILDING SECTIONS SHOWN HERE DEPICT VOLUMN SPACES WITHIN THE STRUCTURE. REFER TO STRUCTURAL DRAWINGS, TRUSS DRAWINGS, STRUCTURAL DETAILS AND CALCULATIONS BY OTHER FOR ALL STRUCTURAL INFO.
 - ROOFING: PITCHED SHINGLE ROOF. REFER TO ROOF PLAN FOR TYPICALS.
 - WOOD FLOORS: FLOOR SHEATHING OVER FLOOR JOIST. REFER TO STRUCTURAL AND TRUSS DRAWINGS BY OTHERS.
 - VERIFY STAIRS MINIMUM AND MAXIMUM REQUIREMENTS FOR CONSTRUCTION CLEARANCES WITH LOCAL CODES.



NO:	DATE:	REVISION:
1	04.04.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
Townhome Series (Ohio) Pattison

FOR CONSTRUCTION

CLIENTS NAME:



PROJECT NO: GMD21038.3

SHEET TITLE:
BUILDING SECTIONS

PRINT DATE:
 April 04, 2023

SHEET NO:
A1 37

NO.	DATE	REVISION
△	04.04.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
Townhome Series (Ohio) Pattison

FOR CONSTRUCTION

CLIENTS NAME:

D-R-HORTON
America's Builder

PROJECT NO: GMD21038.3

SHEET TITLE:

EXTERIOR ELEVATIONS 'A'

PRINT DATE:
 April 04, 2023

SHEET NO:
A1 38

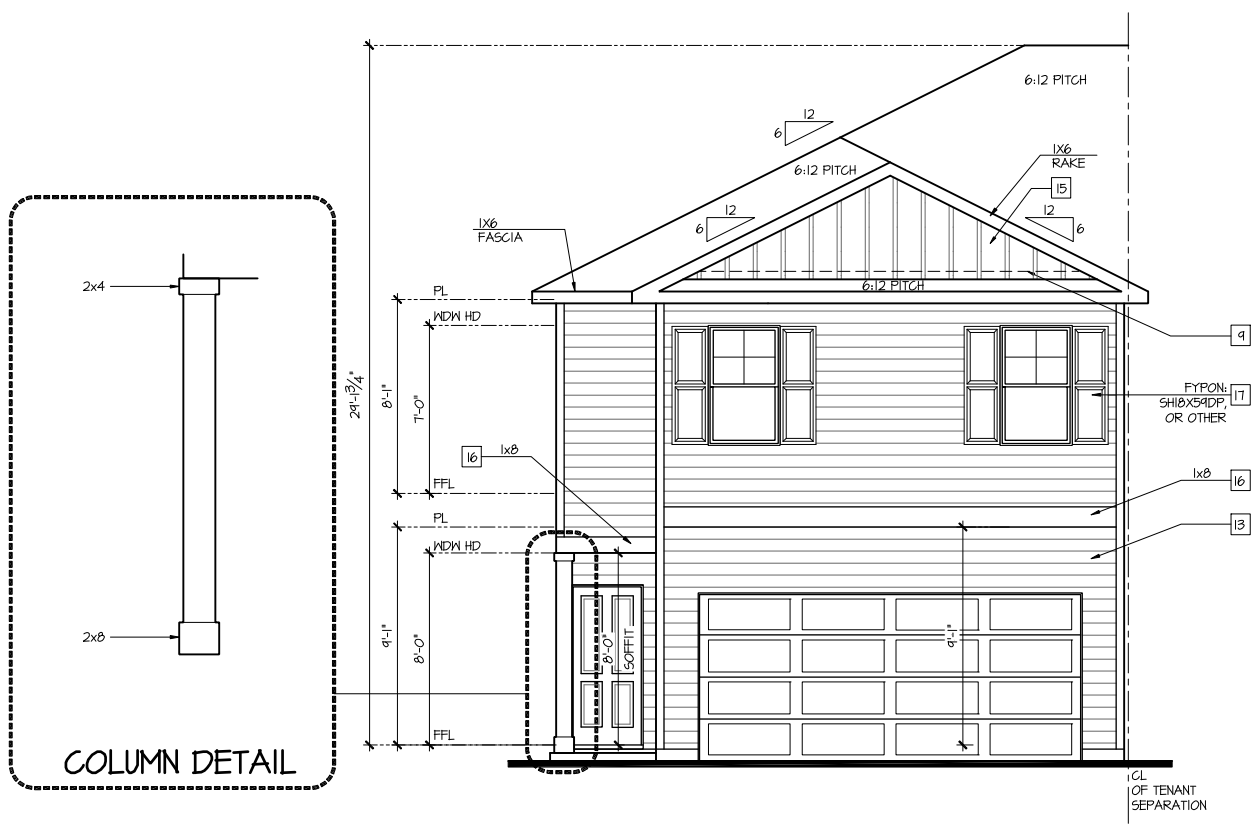
NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
 1ST FLOOR = T-O" U.N.O. ON ELEVATIONS.
 2ND FLOOR = T-O" U.N.O. ON ELEVATIONS.
- ROOFING: COMPOSITE PITCHED SHINGLE ROOFING SYSTEM PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY:
 (ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

KEY NOTES:

- MASONRY:**
- 1] ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 2] MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 3] ADHERED BRICK VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 4] 8" SOLDIER COURSE.
 - 5] ROWLOCK COURSE
 - 6] DECORATIVE KEY. SEE DETAIL.
- TYPICALS:**
- 7] CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
 - 8] CODE APPROVED TERMINATION CHIMNEY GAP.
 - 9] CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
- SIDING:**
- 10] STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 11] ROOFING FINISH, PER SPECS
 - 12] SHAKE SIDING PER DEVELOPER
 - 13] LAP SIDING PER DEVELOPER
 - 14] N/A
 - 15] PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (BATT SIDING)
 - 16] 1X TRIM OR EQUAL, U.N.O. SIZE AS NOTED
 - 17] SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.

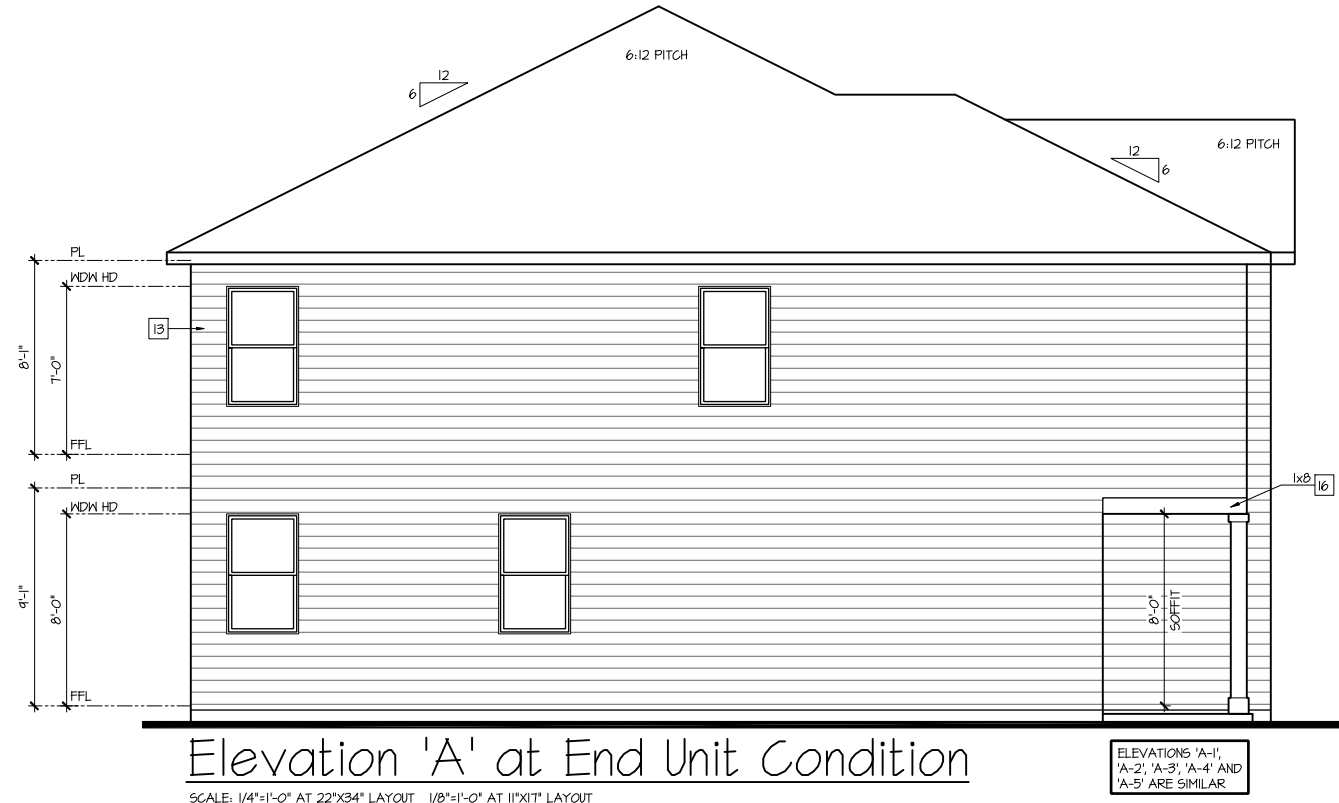
ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH LOCAL CODES



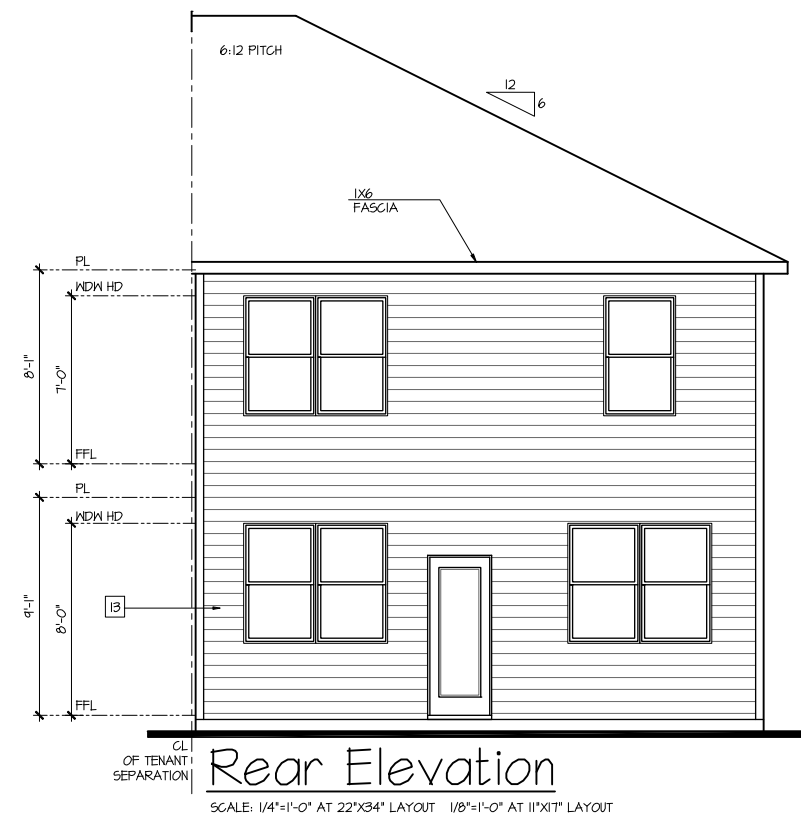
Front Elevation 'A-1'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

- NOTES:**
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
 - WINDOW HEAD HEIGHTS:
1ST FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 - ROOFING: COMPOSITE PITCHED SHINGLE ROOFING SYSTEM PER DEVELOPER.
 - WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
 - ENTRY DOOR: AS SELECTED BY DEVELOPER.
 - GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
 - CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
 - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - PROTECTION AGAINST DECAY:
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)
- KEY NOTES:**
- MASONRY:**
- 1 ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 3 ADHERED BRICK VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 4 8" SOLDIER COURSE.
 - 5 RANLOCK COURSE
 - 6 DECORATIVE KEY. SEE DETAIL.
- TYPICALS:**
- 7 CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
 - 8 CODE APPROVED TERMINATION CHIMNEY CAP.
 - 9 CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
 - 10 STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 11 ROOFING FINISH, PER SPECS
- SIDING:**
- 12 SHAKE SIDING PER DEVELOPER
 - 13 LAP SIDING PER DEVELOPER
 - 14 N/A
 - 15 PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (BATT SIDING)
 - 16 1X TRIM OR EQUAL, U.N.O. SIZE AS NOTED
 - 17 SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.
- ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH LOCAL CODES



Elevation 'A' at End Unit Condition
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X17' LAYOUT



Rear Elevation
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X17' LAYOUT

NO.	DATE:	REVISION:
△	04.04.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
Townhome Series (Ohio) Pattison

FOR CONSTRUCTION

CLIENTS NAME:

D-R-HORTON
America's Builder

PROJECT NO: GMD21038.3

SHEET TITLE:

EXTERIOR ELEVATIONS 'A'

PRINT DATE:
April 04, 2023

SHEET NO:
A1.5 39

24' Townhomes

Ohio Division

MODEL ONLY SET

Model Tatum

ABBREVIATIONS		INDEX
ABV ABOVE	L LENGTH	MODEL - TATUM
AC AIR CONDITIONING	LA LAUNDRY	T-1 TITLE SHEET / COVER SHEET
AD AREA DRAIN	LAV LAVATORY	A-2.0 SLAB PERIMETER PLAN
ADJ ADJUSTABLE	LVR LOUVER	A-2.1 1ST FLOOR PLAN
ALT ALTERNATE	MAX MAXIMUM	A-2.2 2ND FLOOR PLAN
ALUM ALUMINUM	MFG MANUFACTURER	A-2.4 SECTIONS
ARCH ARCHITECTURAL	MN MINIMUM	A-2.5 EXTERIOR ELEVATIONS 'A-1'
BA BATHROOM	MSC MISCELLANEOUS	A-2.5.1 EXTERIOR ELEVATIONS 'A-2'
BD BOARD	N NORTH	A-2.5.2 EXTERIOR ELEVATIONS 'A-3'
BF BI-FOLD (DOOR)	N.T.S. NOT TO SCALE	A-2.5.3 EXTERIOR ELEVATIONS 'A-4'
BLDG BUILDING	OH OVERHEAD	A-2.5.4 EXTERIOR ELEVATIONS 'A-5'
BLK BLOCK (CMU)	OPT OPTIONAL	A-2.5.5 EXTERIOR ELEVATIONS
BLM BELM	PAR PARALLEL	A-2.5.6 ROOF PLAN 'A'
BM BEAM	P.B. PUSH BUTTON	A-2.5.7 ENHANCED EXTERIOR ELEVATIONS
BP BI-PASS (DOOR)	PDR POWDER	E-3.0 1ST FLOOR UTILITY PLAN
BT BOTTOM	PED PEDESTAL	E-4.0 2ND FLOOR UTILITY PLAN
BTWN BETWEEN	PL PLATE	FP-1 FIRE-PROTECTION DETAILS
CAB CABINET	FR PAIR	FP-2 FIRE-PROTECTION DETAILS
CER CERAMIC	FR PRESSURE TREATED WOOD	FP-3 FIRE-PROTECTION DETAILS
C.J. CONTROL JOINT OR CONSTRUCTION JOINT	P.V.C. POLYVINYL CHLORIDE PIPE	FP-4 FIRE-PROTECTION DETAILS
CL CLOSET OR CENTER LINE	P.V.M.T. PAVEMENT	FP-5 FIRE-PROTECTION DETAILS
CLG CEILING	P.W. FIRE WIRE	FP-6 FIRE-PROTECTION DETAILS
CLR CLEAR	P.W.D. PLYWOOD	21 TOTAL SHEETS
CMU CONCRETE MASONRY UNIT	R RISER	
COL COLUMN	RAG RETURN AIR GRILL	
CONC CONCRETE	REF REFERENCE	
C CARPET	REFR REFRIGERATOR	
CR CORROSION RESISTANT	REQ REQUIRED	
CSMT CEMENT	S SOUTH	
C.T. CERAMIC TILE	SD SMOKE DETECTOR	
D DRYER	S.F. SQUARE FEET	
DBL DOUBLE	S.G.D. SLIDING GLASS DOOR	
DH DOUBLE HUNG	SH SINGLE HUNG OR SHELF	
DM DIMENSION	SL SLOPE / SLIDING	
DISP DISPOSAL	SLP SHELF AND POLE	
DN DOWN	SPC SPECIFICATIONS	
DR DOOR	STD STANDARD	
DS DOWNSPOUT	STR STRUCTURAL	
DW DISH WASHER	SQ SQUARE	
DWG DRAWING	SYM SYMBOL	
E EAST	S45 SMOOTH FOUR SIDES	
EA EACH	T TREAD (AT STAIRS) OR TILE	
ELEV ELEVATION	TB TONEL BAR	
ELEC ELECTRICAL	TEMP TEMPERED (GLASS)	
EQ EQUAL	T&G TONGUE & GROOVE	
EXT EXTERIOR	T.O.C. TOP OF CURB	
FAU FORCED AIR UNIT	TV TELEVISION	
F.C. FLOOR CHANGE	TYP TYPICAL	
F.D. FLOOR DRAIN	UNO. UNLESS NOTED OTHERWISE	
FFL FINISH FLOOR LINE	V.B. VAPOR BARRIER	
F.S. FINISHED GRADE	VERT VERTICAL	
FLR FLOOR(ING)	V.T.R. VENT THRU ROOF	
FL FLOURESCENT (LIGHT)	W WASHING MACHINE	
FND FOUNDATION	WD WOOD	
F.O.S. FACE OF STUD	WDM WINDOW	
FIG FOOTING	WH WATER HEATER	
FX FIXED GLASS	WIR WROUGHT IRON	
GALV GALVANIZED	WIC WALK-IN CLOSET	
GAR GARAGE	W/O WITH OR WITHOUT	
G.B. GYPSUM BOARD	WP WATERPROOFING	
GD GRADE OR GRADING	WM WELDED WIRE MESH	
G.D.O. GARAGE DOOR OPENER	PL PROPERTY LINE	
GTI GROUND FAULT INTERRUPTER	Ø ROUND / DIAMETER	
GL GLASS OR GLAZING	± AND	
GYP BD GYPSUM BOARD	CL CENTERLINE	
HB HOSE BIBB	# FOUND / NUMBER	
HD HEAD OR HARD		
HDR HEADER		
HST HEIGHT		
HVAC HEATING/VENTILATING/AIR COND.		
HWD HARDWOOD		
INT INTERIOR		
JST JOIST		
JT JOINT		
KIT KITCHEN		

ALL CONSULTANT DRAWINGS ACCOMPANYING THESE DESIGN DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUP OF GEORGIA, INC. GMD DESIGN GROUP OF GA INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS THAT ARE PREPARED BY OTHER CONSULTANTS.

BUILDING CODE COMPLIANCE / PROJECT INFORMATION

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES:
FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.
OHIO STATE SUPPLEMENTS AND AMENDMENTS
2019- RESIDENTIAL CODE OF OHIO - (2019 RCO)

PRODUCT:
TOWNHOMES

REFER TO STRUCTURAL PLANS FOR INFO NOT CALLED OUT HERE.

OCCUPANCY CLASSIFICATION
RESIDENTIAL R-3

CONSTRUCTION TYPE:
TYPE VB (2 HOUR DWELLING SEPARATION BETWEEN UNITS)

PLAN CHANGES:

DATE:	DESCRIPTION:
04.04.23	INITIAL PLAN RELEASE

CONSULTANTS:

LOCAL JURISDICTION:	BUILDER: DR HORTON - NORTH REGION EXPRESS HOMES 4555 S. KINGSTON CT, SUITE 200 ENGLEWOOD, CO. 80112 PHONE: (914) 998-8444 CONTACT: JOHN DIENES EMAIL: JMDIENES@DRHORTON.COM	DESIGNER: GMD DESIGN GROUP 1845 SATELLITE BLVD. STE 850 SUWANEE, GA. 30097 PHONE: (770) 375-1351 CONTACT: DONALD J. McGRATH EMAIL: DONNIE@GMDDESIGNGROUP.COM	STRUCTURAL ENGINEER:
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PROJECT TITLE:
Townhome Series (Ohio) Tatum

FOR CONSTRUCTION

CLIENTS NAME:

GENERAL NOTES DESIGNER: 2019 RCO

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CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.

ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.

ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.

PROVIDE FIREBLOCKING. (PER IRC SECTION R302.11)

ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TONEL BAR, TONEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.

ELASTOMERIC SHEET WATERPROOFING: FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL. SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL. INSTALL PER MANUFACTURER'S AND TRADE ASSOCIATION'S PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.

TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.

SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.

DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

THE BUILDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.

ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.

PROVIDE AN APPROVED WASHER DRAIN PAN AT SECOND FLOOR ONLY THAT DRAINS TO EXTERIOR.

WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ FT WITH MIN. DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH. SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR. (PER IRC SECTION R310.1.1)

ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER IRC SECTION R312.1.3)

PROVIDE STAIR HANDRAILS AND GUARDRAILS PER IRC SECTION R311.1.8 AND R312

BUILDER SET:

THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A 'BUILDER'S SET' OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HERINAFTER REFERRED TO AS 'PLANS'. THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS, AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT / CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.

CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY, WHERE QUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK. WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE, PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT, WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL, AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE GMD DESIGN GROUP BEFORE PROCEEDING.

AREA CALCULATIONS:

PLAN 'TATUM' SQUARE FOOTAGES	
AREA	ELEV 'A'
1st FLOOR	620 SF
2nd FLOOR	878 SF
TOTAL LIVING	1498 SF
GARAGE	345 SF
PORCH	25 SF
COVERED PATIO AT ENHANCED REAR ELEVATIONS	72 SF

D-R HORTON
America's Builder

PROJECT NO: GMD21038.3

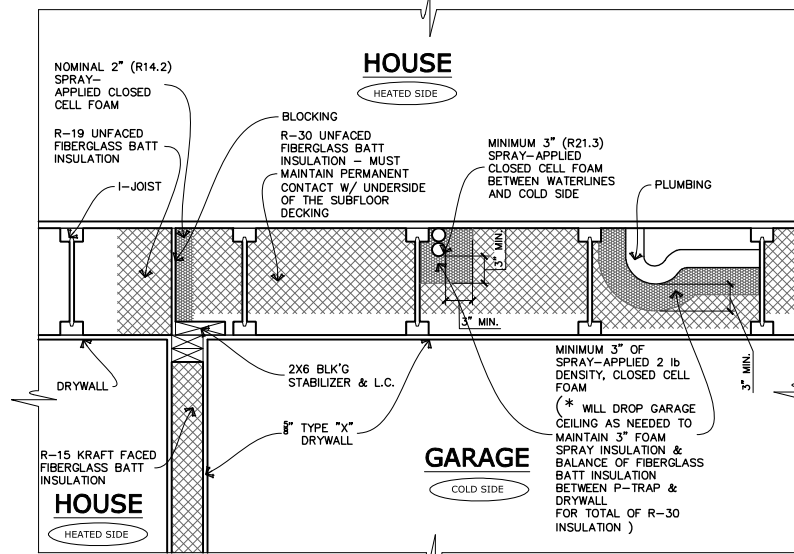
SHEET TITLE:
TITLE SHEET

PRINT DATE:
April 04, 2023

SHEET NO:
T-40

PLUMBING PROTECTION DETAIL

APPLICATION: CANTILEVERED AND FLOOR OVER GARAGE AREAS

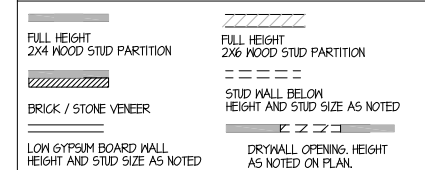


PURPOSE: TO BRING THE PLUMBING INTO THE HEATED SPACE BY PROTECTING THE PLUMBING PIPING FROM AIR INFILTRATION AND THERMAL FAILURES. THE OHIO BUILDING CODE REQUIRES THAT PLUMBING PIPES ARE PROTECTED FROM FREEZING. THIS APPLICATION MEETS THAT REQUIREMENT AND ELIMINATES THE NEED FOR A HVAC BLEEDER AND A DROP OF THE GARAGE CEILING.

9'-1" STAIR NOTE:
 (USE 16" TJI WITH 3/4" PLYWOOD SUBFLOOR)
 16 TREADS AT 10" EACH VERIFY
 17 RISERS AT 5" 7 25/64" = 125 3/4" TOTAL RISE VERIFY

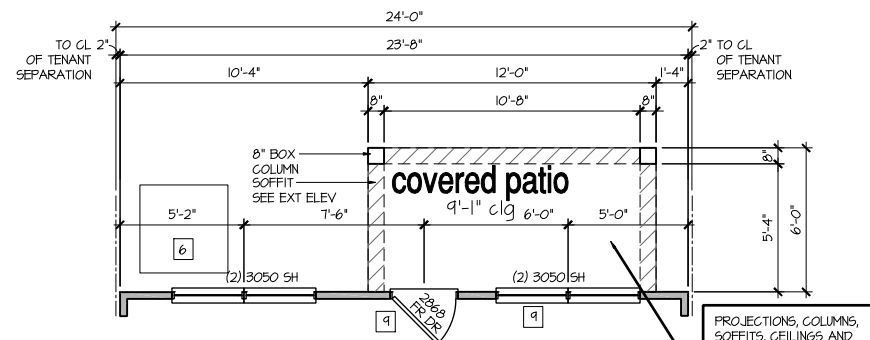
- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
- WINDOW HEAD HEIGHTS:
 1ST FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

WALL LEGEND:



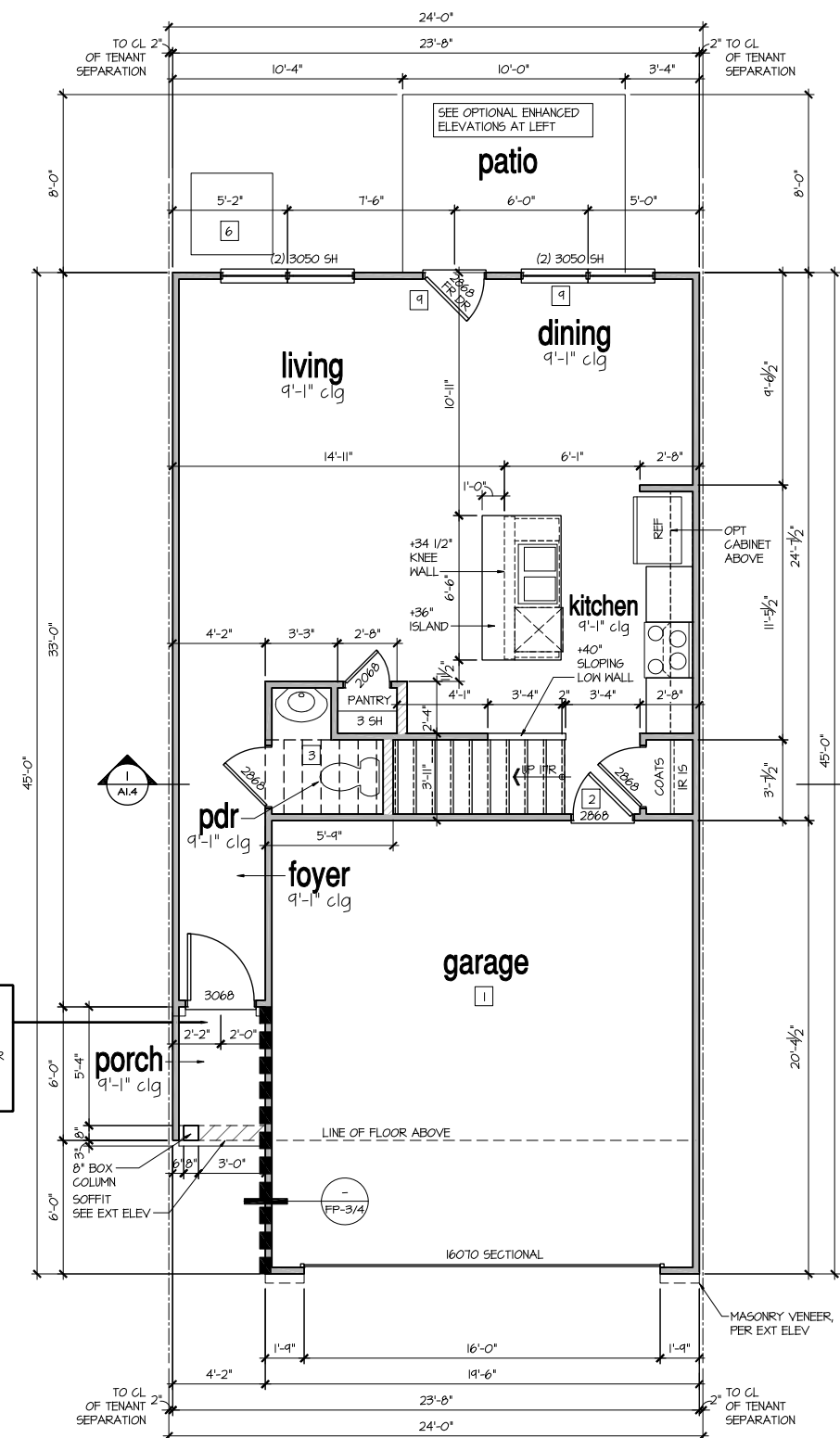
KEY NOTES:

- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER LOCAL CODES)
 GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. (PER LOCAL CODES)
 - HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER LOCAL CODES)
 - BENEATH STAIRS AND LANDINGS. 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER LOCAL CODES)
 - MEPS
 - WATER HEATER, PER LOCAL CODES
 - N/A
 - A/C CONDENSER PAD. (VERIFY)
 - FIRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ATTIC ACCESS - REMOVABLE 22"x30" PANEL. MINIMUM 30" CLEAR HEADROOM ABOVE ACCESS OPENING.
- TYPICALS:**
- TEMPERED SAFETY GLASS. (PER LOCAL CODES)
 - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
 - HALF WALL, HEIGHT AS NOTED.
 - INTERIOR SOFFITS: FFL = 7'-6" U.N.O. SFL = 7'-6" U.N.O.
- BATHS:**
- SHOWER.
 - TUB-SHOWER COMBO.
 - N/A
 - ACRYLIC TUB W/ CERAMIC PLATFORM
- KITCHEN:**
- OPTIONAL 30" SLIDE-IN RANGE, PACKAGE PER BUILDER VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 30" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ELECTRIC OVEN WITH MICROWAVE OVEN.
 - LAUNDRY CLOSETS, AN OPENING HAVING AN AREA NOT LESS THAN 100 SQ IN SHALL BE PROVIDED IN THE CLOSET ENCLOSURE OR MAKEUP AIR SHALL BE PROVIDED BY OTHER APPROVED MEANS PER LOCAL CODES. LOWERED DOORS OR PROVIDING A TRANSFER GRILLE ABOVE THE DOOR OR THE DOOR MAY BE UNDERCUT TO PROVIDE ADDITIONAL VENTILATION



Rear Porch Condition
 At Enhanced Elevations

PROJECTIONS, COLUMNS, SOFFITS, CEILINGS AND SUPPORTS WITHIN THE 5'-0" FIRE SEPARATION DISTANCE TO BE MIN. 1-HR FIRE-RATED CONSTRUCTION, TYP., PER RCO TABLE R302.1



1st Floor Plan

SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x11" LAYOUT

NO.	DATE	REVISION
1	04.04.23	

PROFESSIONAL SEAL:

PROJECT TITLE:

Townhome Series (Ohio) Tatum

CLIENTS NAME:



PROJECT NO: GMD21038.3

SHEET TITLE:

1st FLOOR PLAN

PRINT DATE:

April 04, 2023

SHEET NO:

A2 41

FOR CONSTRUCTION

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

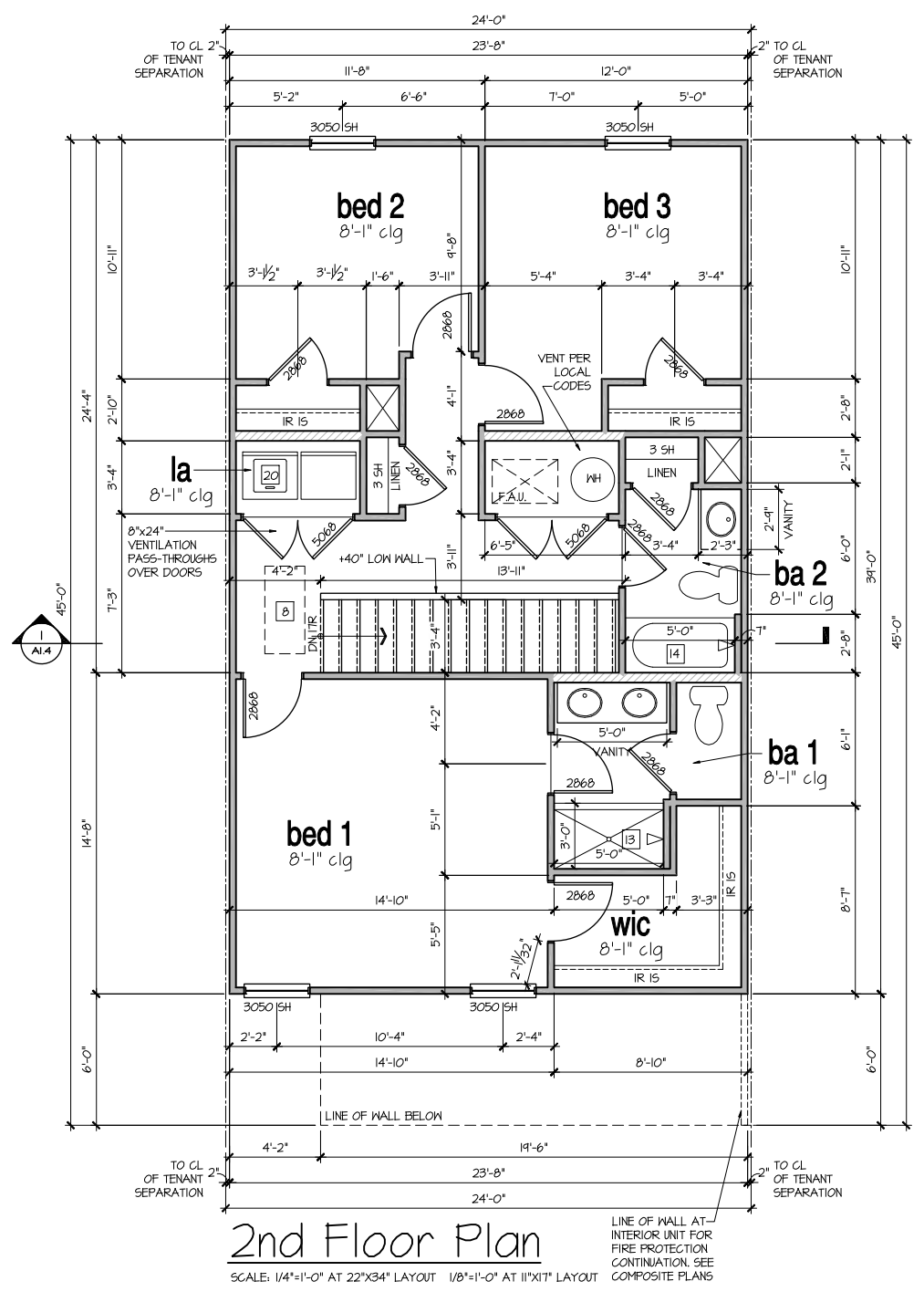
WALL LEGEND:

	FULL HEIGHT 2X4 WOOD STUD PARTITION		FULL HEIGHT 2X6 WOOD STUD PARTITION
	BRICK / STONE VENEER		STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED		DRYWALL OPENING, HEIGHT AS NOTED ON PLAN.

KEY NOTES:

- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER LOCAL CODES)
 GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. (PER LOCAL CODES)
 - HOUSE TO GARAGE DOOR SEPARATION, PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER LOCAL CODES)
 - BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER LOCAL CODES)
 MEP'S
 - WATER HEATER, PER LOCAL CODES
 - N/A
- TYPICALS:**
- TEMPERED SAFETY GLASS. (PER LOCAL CODES)
 - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
 - HALF WALL, HEIGHT AS NOTED.
 - INTERIOR SOFFITS: FFL = 7'-6" U.N.O. SFL = 7'-6" U.N.O.
- BATHS:**
- SHOWER.
 - TUB-SHOWER COMBO.
 - N/A
 - ACRYLIC TUB W/ CERAMIC PLATFORM
- KITCHEN:**
- OPTIONAL 30" SLIDE-IN RANGE, PACKAGE PER BUILDER VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 30" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ELECTRIC OVEN WITH MICROWAVE OVEN.
 - LAUNDRY CLOSETS, AN OPENING HAVING AN AREA NOT LESS THAN 100 SQ IN SHALL BE PROVIDED IN THE CLOSET ENCLOSURE OR MAKEUP AIR SHALL BE PROVIDED BY OTHER APPROVED MEANS PER LOCAL CODES LOUVERED DOORS OR PROVIDING A TRANSFER GRILLE ABOVE THE DOOR OR THE DOOR MAY BE UNDERCUT TO PROVIDE ADDITIONAL VENTILATION

9'-1" STAIR NOTE:
 (USE 16" T.J. WITH 3/4" PLYWOOD SUBFLOOR)
 16 TREADS AT 10" EACH VERIFY
 11 RISERS AT +/- 7.25/164" = 125 3/4" TOTAL RISE VERIFY



2nd Floor Plan

SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x11" LAYOUT
 LINE OF WALL AT INTERIOR UNIT FOR FIRE PROTECTION CONTINUATION. SEE COMPOSITE PLANS

NO.	DATE	REVISION
1	04.04.23	

PROFESSIONAL SEAL:

PROJECT TITLE:

Townhome Series (Ohio) Tatum

FOR CONSTRUCTION

CLIENTS NAME:



PROJECT NO: GMD21038.3

SHEET TITLE:

2nd FLOOR PLAN 'A'

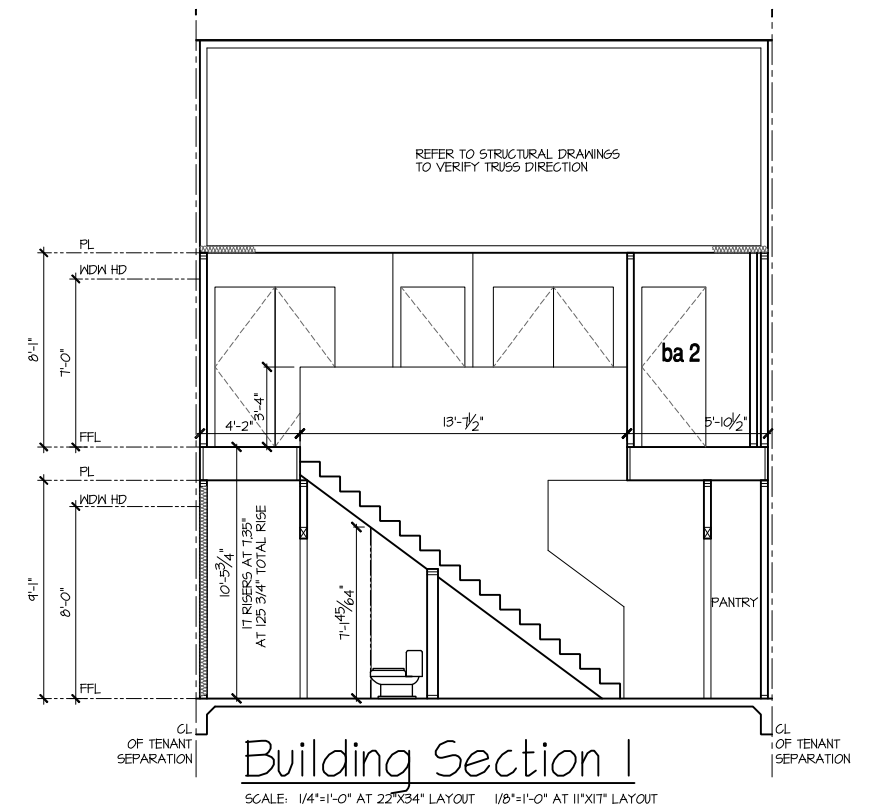
PRINT DATE:
 April 04, 2023

SHEET NO:
A2 42

9'-1" STAIR NOTE:
 (USE 16" T.J. WITH 3/4" PLYWOOD SUBFLOOR)
 16 TREADS AT 10" EACH VERIFY
 17 RISERS AT +/- 7.25/64" = 125 3/4" TOTAL
 RISE VERIFY

NOTES:

- REFER TO FLOOR PLAN NOTES FOR TYPICAL FIRE PROTECTION NOTES AND LOCATIONS.
- THESE BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STYLES AND AT "PLAN OPTION" CONDITIONS. REFER TO MAIN FLOOR PLAN AND ALTERNATE FLOOR PLANS FOR INFORMATION NOT SHOWN HERE.
- BUILDING SECTIONS SHOWN HERE DEPICT VOLUMN SPACES WITHIN THE STRUCTURE. REFER TO STRUCTURAL DRAWINGS, TRUSS DRAWINGS, STRUCTURAL DETAILS AND CALCULATIONS BY OTHER FOR ALL STRUCTURAL INFO.
- ROOFING: PITCHED SHINGLE ROOF. REFER TO ROOF PLAN FOR TYPICALS.
- WOOD FLOORS: FLOOR SHEATHING OVER FLOOR JOIST. REFER TO STRUCTURAL AND TRUSS DRAWINGS BY OTHERS.
- VERIFY STAIRS MINIMUM AND MAXIMUM REQUIREMENTS FOR CONSTRUCTION CLEARANCES WITH LOCAL CODES.



Item 5.

NO:	DATE:	REVISION:
1	04.04.23	

PROFESSIONAL SEAL:

PROJECT TITLE:

**Townhome
 Series
 (Ohio)
 Tatum**

**FOR
 CONSTRUCTION**

CLIENTS NAME:

D·R·HORTON
America's Builder

PROJECT NO: GMD21038.3

SHEET TITLE:

**BUILDING
 SECTIONS**

PRINT DATE:

April 04, 2023

SHEET NO:

A2 43

NO.	DATE	REVISION
△	04.04.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
Townhome Series (Ohio) Tatum

FOR CONSTRUCTION

CLIENTS NAME:
D-R HORTON
America's Builder

PROJECT NO: GMD21038.3

SHEET TITLE:
EXTERIOR ELEVATIONS 'A'

PRINT DATE:
 April 04, 2023

SHEET NO:
A2 44

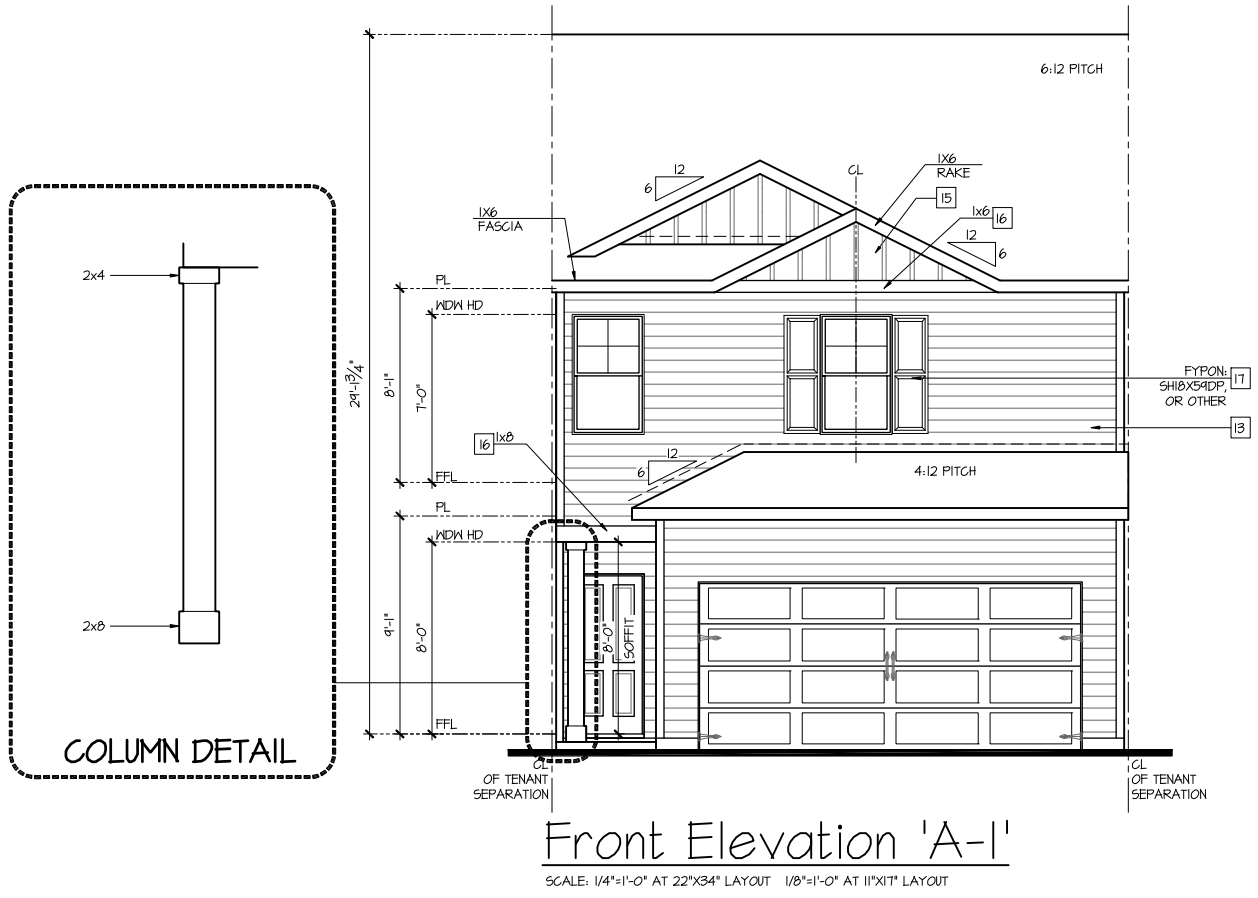
NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
 1ST FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: COMPOSITE PITCHED SHINGLE ROOFING SYSTEM PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY:
 (ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

KEY NOTES:

- MASONRY:**
- 1 ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 3 ADHERED BRICK VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 4 8" SOLDIER COURSE.
 - 5 ROWLOCK COURSE
 - 6 DECORATIVE KEY. SEE DETAIL.
- TYPICALS:**
- 7 CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
 - 8 CODE APPROVED TERMINATION CHIMNEY GAP.
 - 9 CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
- STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.**
- ROOFING FINISH, PER SPECS**
- SIDING:**
- 12 SHAKE SIDING PER DEVELOPER
 - 13 LAP SIDING PER DEVELOPER
 - 14 N/A
 - 15 PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (BATT SIDING)
 - 16 1X TRIM OR EQUAL, U.N.O. SIZE AS NOTED
 - 17 SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH LOCAL CODES



Front Elevation 'A-1'

SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT

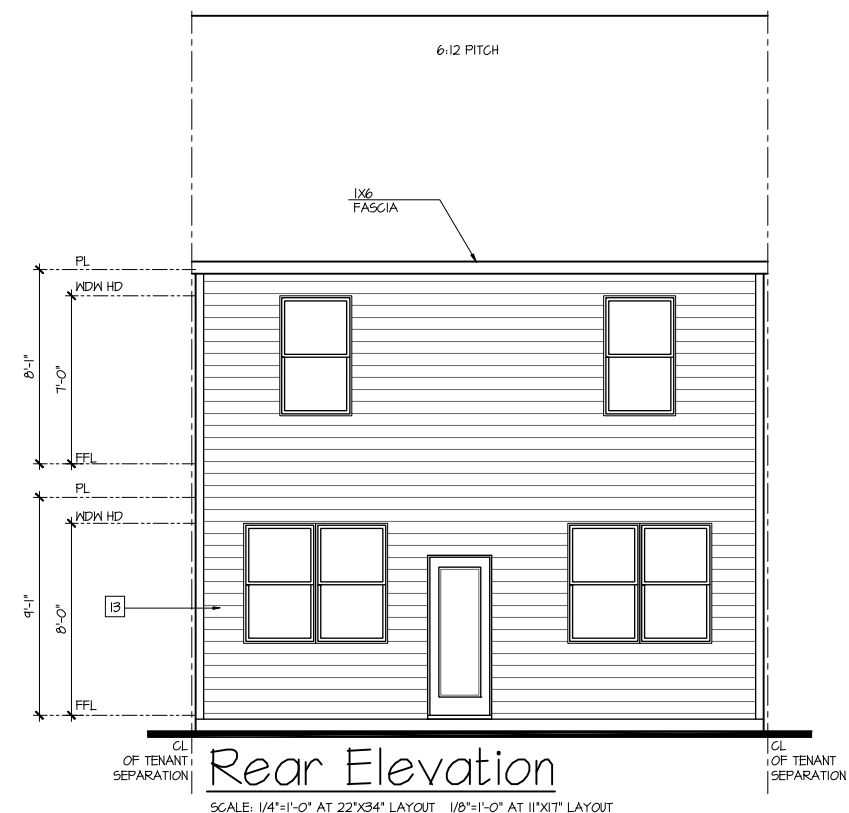
NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: COMPOSITE PITCHED SHINGLE ROOFING SYSTEM PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY:
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

KEY NOTES:

- MASONRY:**
- 1 ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 3 ADHERED BRICK VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 4 8" SOLDIER COURSE.
 - 5 RONLOCK COURSE
 - 6 DECORATIVE KEY. SEE DETAIL.
- TYPICALS:**
- 7 CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
 - 8 CODE APPROVED TERMINATION CHIMNEY CAP.
 - 9 CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
- ROOFING:**
- 10 STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 11 ROOFING FINISH, PER SPECS
- SIDING:**
- 12 SHAKE SIDING PER DEVELOPER
 - 13 LAP SIDING PER DEVELOPER
 - 14 N/A
 - 15 PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (BATT SIDING)
 - 16 1X TRIM OR EQUAL, U.N.O. SIZE AS NOTED
 - 17 SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH LOCAL CODES



SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT

NO:	DATE:	REVISION:
△	04.04.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
Townhome Series (Ohio) Tatum

FOR CONSTRUCTION

CLIENTS NAME:

D·R·HORTON
America's Builder

PROJECT NO: GMD21038.3

SHEET TITLE:

EXTERIOR ELEVATIONS 'A'

PRINT DATE:
April 04, 2023

SHEET NO:
A2.1 45

EXPRESS HOMES 30' SERIES MODEL 'TAYLOR' BIRMINGHAM DIVISION

NO:	DATE:	REVISION:
△	01.26.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series



CLIENTS NAME:
PROJECT NO: GMD14066

SHEET TITLE:
TITLE SHEET

PRINT DATE:
Nov.15, 2022

FOR CONSTRUCTION

ABBREVIATIONS

ABV ABOVE	L LENGTH
AC AIR CONDITIONING	LA LAUNDRY
AD AREA DRAIN	LAV LAVATORY
ADJ ADJUSTABLE	LVR LOUVER
ALT ALTERNATE	MAX MAXIMUM
ALUM ALUMINUM	MCH MECHANICAL
ARCH ARCHITECTURAL	MFR MANUFACTURER
BA BATHROOM	MIN MINIMUM
BD BOARD	MISC MISCELLANEOUS
BF BI-FOLD (DOOR)	N NORTH
BLDG BUILDING	NT.S. NOT TO SCALE
BLK BLOCK (CMU)	OS&D OVERHEAD GARAGE DOOR
BLM BELOW	OH OVERHEAD
BM BEAM	OPT OPTIONAL
BP BI-PASS (DOOR)	PAR PARALLEL
BOT BOTTOM	P.B. PUSH BUTTON
BWN BETWEEN	PDR POWDER
CAB CABINET	PED PEDESTAL
CER CERAMIC	PL PLATE
C.J. CONTROL JOINT OR CONSTRUCTION JOINT	PR PAIR
CL CLOSET OR CENTER LINE	P.T. PRESSURE TREATED WOOD
CLG CEILING	P.V.C. POLYVINYL CHLORIDE PIPE
CLR CLEAR	P.V.M.T. PAVEMENT
CMU CONCRETE MASONRY UNIT	P.W. PRES-WIRE
COL COLUMN	P.W. PLYWOOD
CONC CONCRETE	R RISER
C CARPET	RAG RETURN AIR GRILL
CR CORROSION RESISTANT	REF REFERENCE
CSMT CASHEMNT	REFR REFRIGERATOR
C.T. CERAMIC TILE	REQ REQUIRED
D DRYER	S SOUTH
DBL DOUBLE HUNG	SD SMOKE DETECTOR
DM DIMENSION	S.F. SQUARE FEET
DISP DISPOSAL	S.G.D. SLIDING GLASS DOOR
DN DOWN	SH SINGLE HUNG OR SHELF
DR DOOR	SH SLASH
DS DOWNSPOUT	SL SLOPE / SLIDING
DW DISH WASHER	SH SHELF AND POLE
DWG DRAWING	SPEC SPECIFICATIONS
E EAST	STD STANDARD
EA EACH	STR STRUCTURAL
ELEV ELEVATION	SQ SQUARE
ELEC ELECTRICAL	SYM SYMBOL
EQ EQUAL	S45 SMOOTH FOUR SIDES
EXT EXTERIOR	T TREAD (AT STAIRS) OR TILE
FAU FORCED AIR UNIT	T.B. TOPEL BAR
F.C. FLOOR CHANGE	TEMP TEMPERED (GLASS)
F.D. FLOOR DRAIN	T&G TONGUE & GROOVE
FFL FINISH FLOOR LINE	T.O.C. TOP OF CURB
F.S. FINISHED GRADE	TV TELEVISION
FLR FLOOR(ING)	TYP TYPICAL
FL FLOURESCENT (LIGHT)	UNO. UNLESS NOTED OTHERWISE
FND FOUNDATION	V.B. VAPOR BARRIER
F.O.S. FACE OF STUD	VERT VERTICAL
FTG FOOTING	V.T.R. VENT THRU ROOF
FX FIXED GLASS	W WASHING MACHINE
GALV GALVANIZED	WD WOOD
GAR GARAGE	WDM WINDOW
G.B. GYPSUM BOARD	WH WATER HEATER
GD GRADE OR GRADING	W IROUGHT IRON
G.D.O. GARAGE DOOR OPENER	WIC WALK-IN CLOSET
GTI GROUND FAULT INTERRUPTER	W NO WITH OR WITHOUT
GL GLASS OR GLAZING	WP WATERPROOFING
GYP BD GYPSUM BOARD	WMM WELDED WIRE MESH
HB HOSE BIBB	IL PROPERTY LINE
HD HEAD OR HARD	Ø ROUND / DIAMETER
HDR HEADER	∠ AND
HST HEIGHT	□ CENTERLINE
HVAC HEATING/VENTILATING/AIR COND.	# POUND / NUMBER
HWD HARDWOOD	
INT INTERIOR	
JST JOIST	
JT JOINT	
KIT KITCHEN	

INDEX

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		7	2ND FLOOR UTILITY PLAN
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3 M5 B	MONOLITHIC SLAB PLAN 'B'		
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5 B	2ND FLOOR PLAN 'B'		

ALL CONSULTANT DRAWINGS ACCOMPANYING THESE ARCHITECTURAL DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUP, INC. GMD DESIGN GROUP, INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS.

BUILDING CODE COMPLIANCE / PROJECT INFORMATION 2018

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES:
FOLLOW ALL APPLICABLE STATE AND LOCAL CODES, ALABAMA STATE SUPPLEMENTS AND AMENDMENTS 2012

2018- INTERNATIONAL RESIDENTIAL CODE (BUILDING)
2018- INTERNATIONAL FIRE PREVENTION CODE
2018- INTERNATIONAL PLUMBING CODE (BUILDING)
2018- INTERNATIONAL MECHANICAL CODE (BUILDING)
2018- INTERNATIONAL FUEL GAS CODE (BUILDING)
2018- INTERNATIONAL ENERGY CONSERVATION CODE (BUILDING)
2017- NATIONAL ELECTRICAL CODE

PRODUCT:
SINGLE FAMILY RESIDENCE

OCCUPANCY CLASSIFICATION
RESIDENTIAL R-3

CONSTRUCTION TYPE:
TYPE VB

PLAN CHANGES:

DATE:	DESCRIPTION:
11.15.22 01.26.23	INITIAL RELEASE CLIENT REVISIONS

CONSULTANTS:

BUILDER: DR HORTON 2100 PARKWAY LAKE DRIVE SUITE 200 HOOVER, AL PHONE: (770) 730-7400 CONTACT: GENE VANDEVENDER EMAIL: GVANDEVENDER@DRHORTON.COM	DESIGNER: GMD DESIGN GROUP 1130 SATELLITE BLVD. STE 300 SUWANEE, GA. 30024 PHONE: (770) 375-1351 CONTACT: DONALD J. MCGRATH EMAIL: DONNIE@GMDDESIGNGROUP.COM
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GENERAL NOTES DESIGNER:

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.

ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.

ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.

PROVIDE FIREBLOCKING. (PER LOCAL CODES)

ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TONEL BAR, TONEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.

ELASTOMERIC SHEET WATERPROOFING: FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL. INSTALL PER MANUFACTURER'S AND TRADE ASSOCIATION'S PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.

TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.

SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.

DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

BUILDER SET:

THE BUILDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.

ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.

PROVIDE AN APPROVED WASHER DRAIN PAN AT SECOND FLOOR ONLY THAT DRAINS TO EXTERIOR.

WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ FT WITH MIN. DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH. SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR. (PER LOCAL CODES)

ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER LOCAL CODES)

PROVIDE STAIR HANDRAILS AND GUARDRAILS PER LOCAL CODES

AREA CALCULATIONS:

MODEL 'TAYLOR' SQUARE FOOTAGES			
AREA	ELEV 'A'	ELEV 'B'	
1st FLOOR	620 SF	620 SF	
2nd FLOOR	993 SF	993 SF	
TOTAL LIVING	1613 SF	1613 SF	
GARAGE	416 SF	416 SF	
PORCH	42 SF	42 SF	
OPT. COVERED PORCH	80 SF	80 SF	

CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY, WHERE QUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK. WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE, PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT, WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL, AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE GMD DESIGN GROUP BEFORE PROCEEDING.

NO:	DATE:	REVISION:
△	01.26.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

CLIENTS NAME:



PROJECT NO: GMD14066

SHEET TITLE:
**'TAYLOR'
EXTERIOR
ELEVATIONS
'3EFF-A'**

PRINT DATE:
Nov.15, 2022

SHEET NO:
1A 47

FOR CONSTRUCTION

AVAILABLE WITH OPTIONAL
9'-1" FIRST FLOOR PLATE

NOTES AT OPT 9'-1" PLT:
- WDW HT SET AT 7'-6"
- INTERIOR SOFFITS AT 8'-0"
- EXTERIOR SOFFITS AT 8'-0"

NOTES: IRC

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY:
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

KEY NOTES:

MASONRY:

- ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 8" SOLDIER COURSE.
- ROWLOCK COURSE
- DECORATIVE KEY. SEE DETAIL.

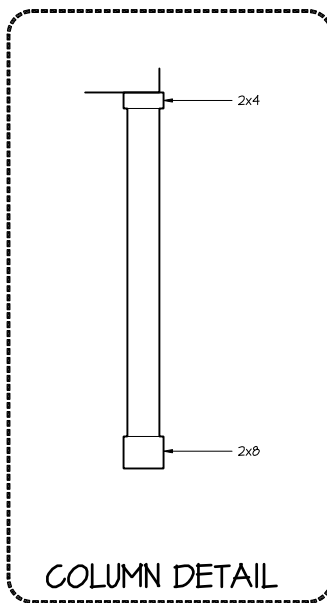
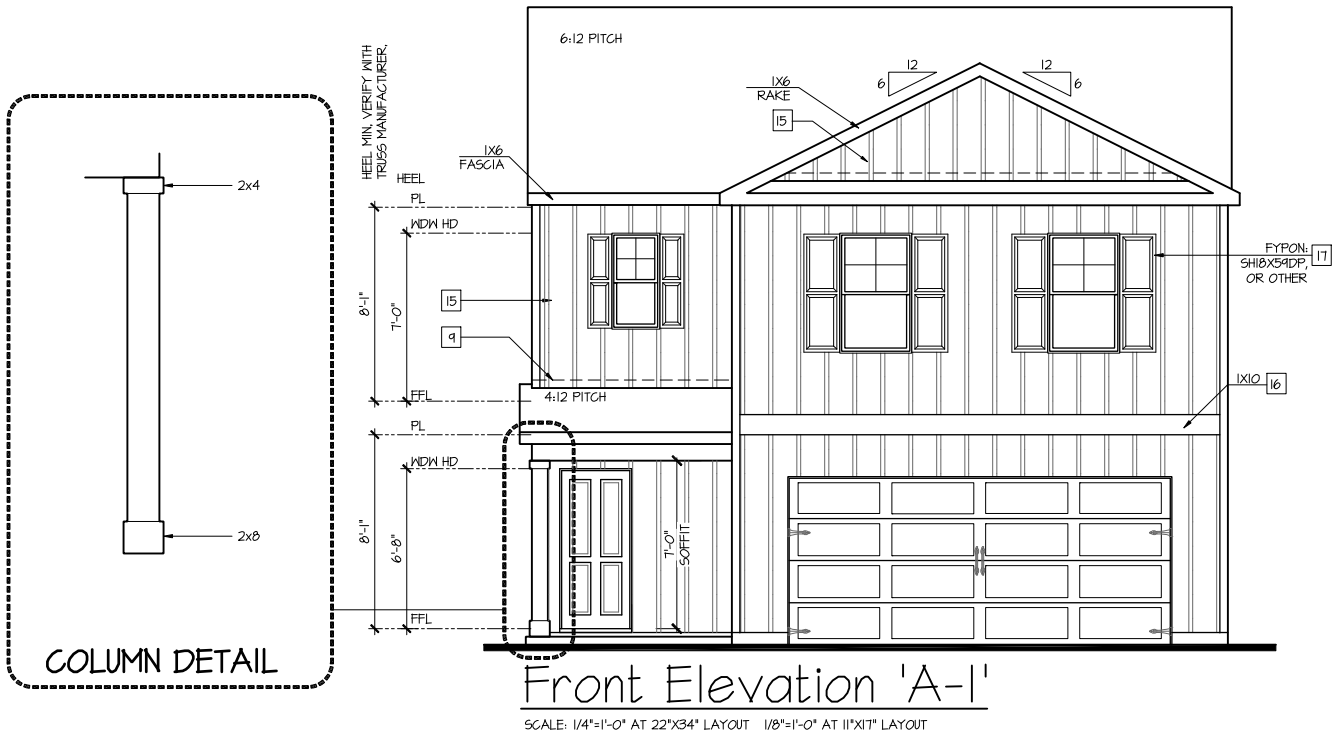
TYPICALS:

- CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
- CODE APPROVED TERMINATION CHIMNEY CAP.
- CORROSION RESISTANT ROOF TO WALL FLASHINGS. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.

SIDING:

- FIBER CEMENT SHAKE SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
- FIBER CEMENT LAP SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
- FIBER CEMENT WAVY SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
- FIBER CEMENT PANEL SIDING W/ 1/3" BATTS AT 12" O.C.
(VINYL BOARD AND BATT SIDING)
- 1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
- FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH LOCAL CODES



Front Elevation 'A-1'
SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

NOTES: IRC

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- ROOFING:
- 10 STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 11 DECORATIVE WROUGHT IRON. SEE DETAILS.
- SIDING:
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 - 6 1X FIBER CEMENT TRIM OR EQUAL, UNO. SIZE AS NOTED
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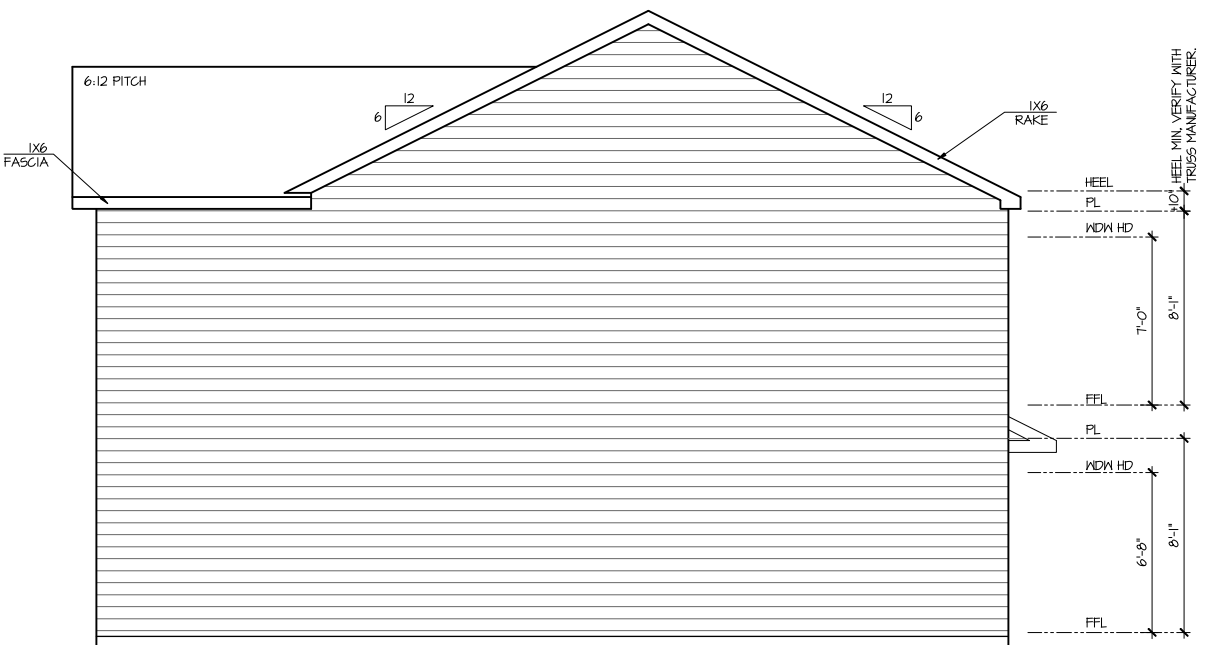
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AVAILABLE WITH OPTIONAL 9'-1" FIRST FLOOR PLATE

- NOTES AT OPT 9'-1" PLT:
- WDW HT SET AT 7'-6"
 - INTERIOR SOFFITS AT 8'-0"
 - EXTERIOR SOFFITS AT 8'-0"



Left Elevation 'A'
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



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Rear Elevation 'A'
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT

NO:	DATE:	REVISION:
1	01.26.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

CLIENTS NAME:



PROJECT NO: GMD14066

SHEET TITLE:
**'TAYLOR'
EXTERIOR
ELEVATIONS
'3EFF-A'**

PRINT DATE:
Nov.15, 2022

SHEET NO:
2 / 48

FOR CONSTRUCTION

NO:	DATE:	REVISION:
△	01.26.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

CLIENTS NAME:



PROJECT NO: GMD14066

SHEET TITLE:
**'TAYLOR'
EXTERIOR
ELEVATIONS
'3EFF-B'**

PRINT DATE:
Nov.15, 2022

SHEET NO:
1 | 49

FOR CONSTRUCTION

AVAILABLE WITH OPTIONAL
9'-1" FIRST FLOOR PLATE

NOTES AT OPT 9'-1" PLT:
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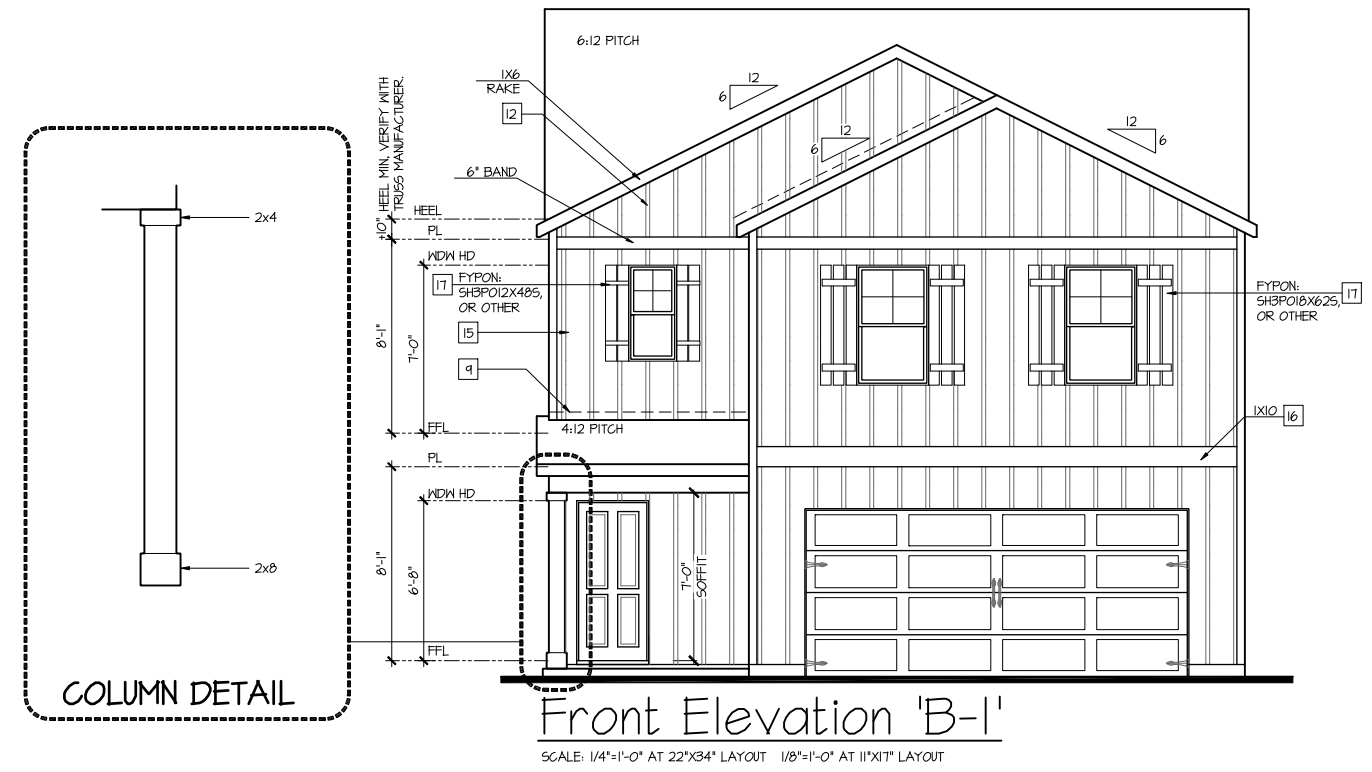
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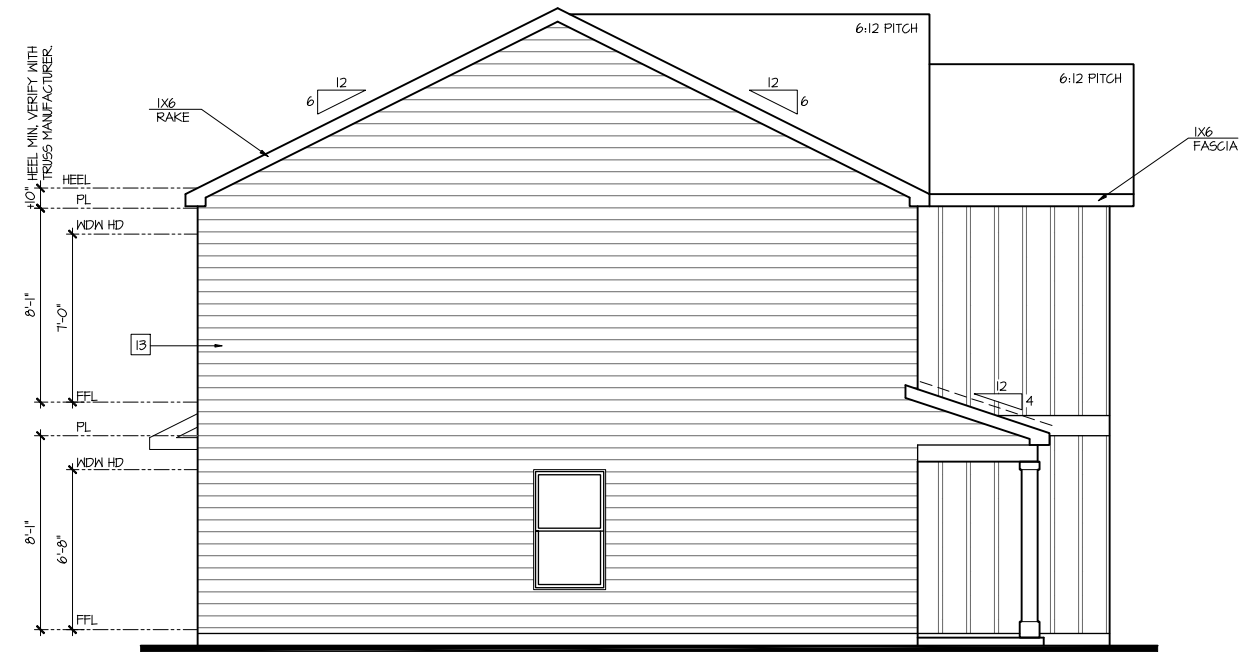
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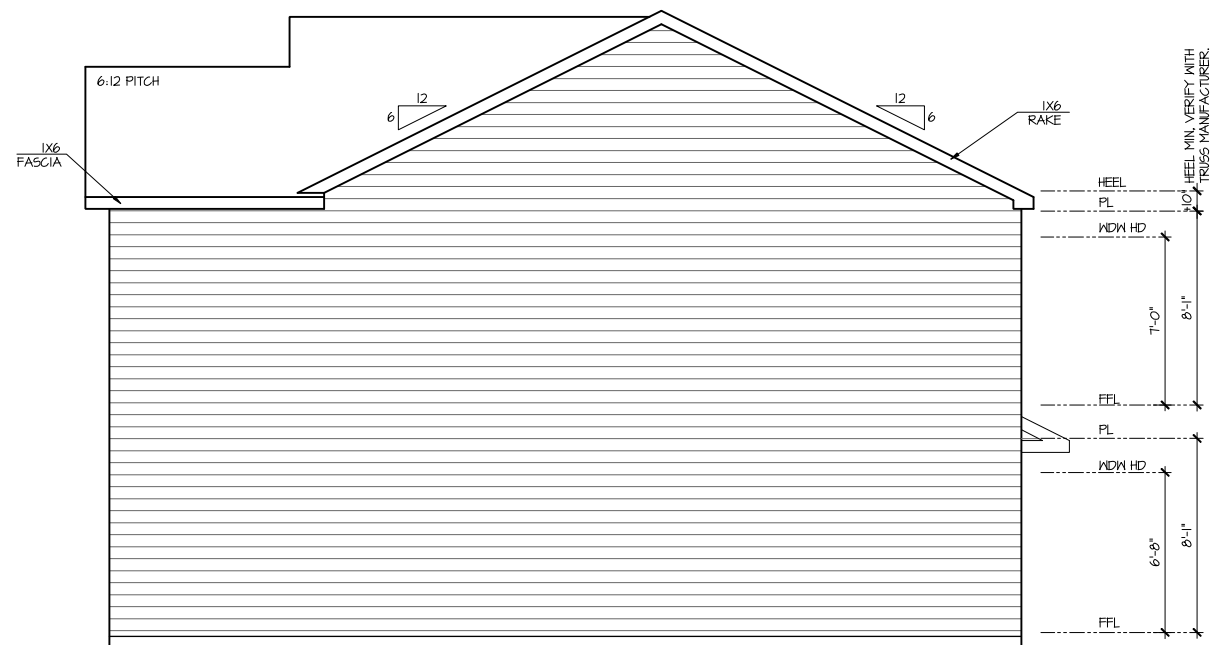
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AVAILABLE WITH OPTIONAL 9'-1" FIRST FLOOR PLATE

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 - INTERIOR SOFFITS AT 8'-0"
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PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

FOR CONSTRUCTION



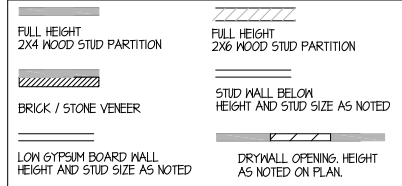
PROJECT NO: GMD14066

SHEET TITLE:
**'TAYLOR'
EXTERIOR
ELEVATIONS
'3EFF-B'**

PRINT DATE:
Nov.15, 2022

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

WALL LEGEND:



8'-1" STAIR NOTE:
 (USE 16" T.J.I. WITH 3/4" PLYWOOD SUBFLOOR)
 15 TREADS AT 10" EACH VERIFY
 16 RISERS AT +/- T.J.I. = 113 3/4" TOTAL
 RISE VERIFY

9'-1" STAIR NOTE:
 (USE 14" T.J.I. WITH 3/4" PLYWOOD SUBFLOOR)
 16 TREADS AT 10" EACH VERIFY
 17 RISERS AT +/- 1.28" = 123 3/4" TOTAL
 RISE VERIFY

KEY NOTES:

- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER LOCAL CODES)
 GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. (PER LOCAL CODES)
 - HOUSE TO GARAGE DOOR SEPARATION, PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER LOCAL CODES)
 - BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER LOCAL CODES)
- MEP'S**
- GAS WATER HEATER ON 18" HIGH PLATFORM. (PER LOCAL CODES)
 - FAU 8'X8' PLATFORM, VERIFY WITH TRUSS MANUFACTURER. (6'-6" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2'X6" OVER 2'X4" BOTTOM CHORD, OF TRUSS, VERIFY W/ TRUSSES.)
 - A/C CONDENSER PAD. (VERIFY)
 - PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"X22". FIRE RATED ACCESS AS NOTED. (PER LOCAL CODES)
 ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" X 54" SIZE.)
 TYPICALS:
 - TEMPERED SAFETY GLASS. (PER LOCAL CODES)
 - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
 - HALF WALL, HEIGHT AS NOTED.
 - INTERIOR SOFFITS: FFL = 7'-6" U.N.O. SFL = 7'-6" U.N.O.
- BATHS:**
- SHOWER, TEMPERED GLASS ENCLOSURE.
 - TUB-SHOWER COMBO, TEMPERED GLASS ENCLOSURE.
 - CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
- KITCHEN:**
- 30" SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 30" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ELECTRIC OVEN WITH MICROWAVE OVEN.

AVAILABLE WITH OPTIONAL
 9'-1" FIRST FLOOR PLATE

NOTES AT OPT 9'-1" PLT:
 - WDW HT SET AT 7'-6"
 - INTERIOR SOFFITS AT 8'-0"
 - EXTERIOR SOFFITS AT 8'-0"

Item 5.

NO.	DATE	REVISION
1	01.26.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

CLIENTS NAME:



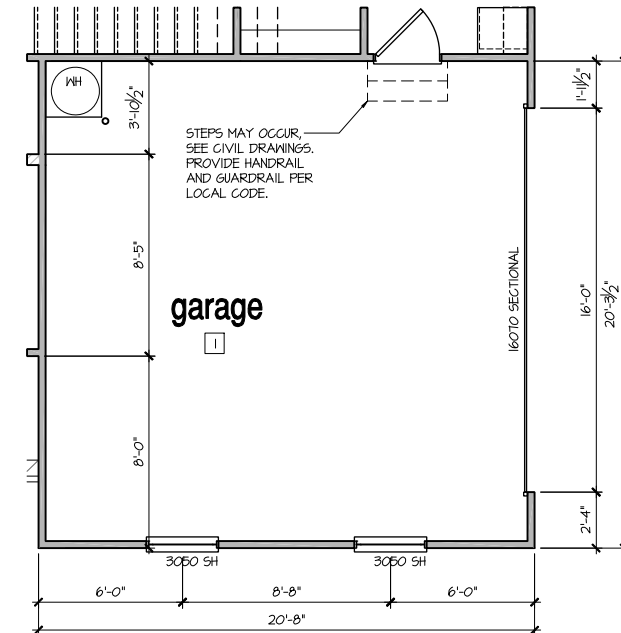
PROJECT NO: GMD14066

SHEET TITLE:
'TAYLOR'
 1st FLOOR
 PLAN '3EFF-A'

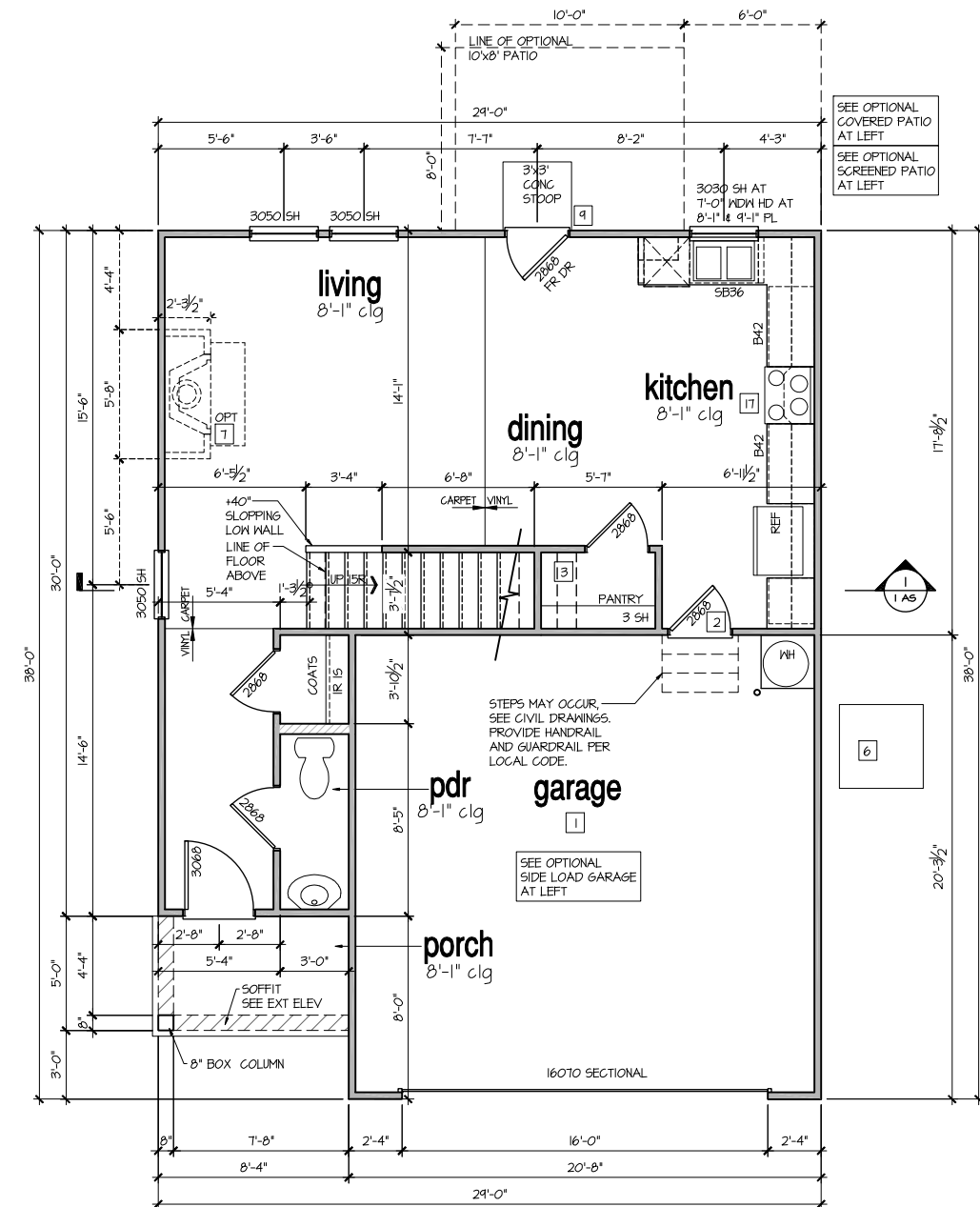
PRINT DATE:
 Nov.15, 2022

SHEET NO:
4 / 51

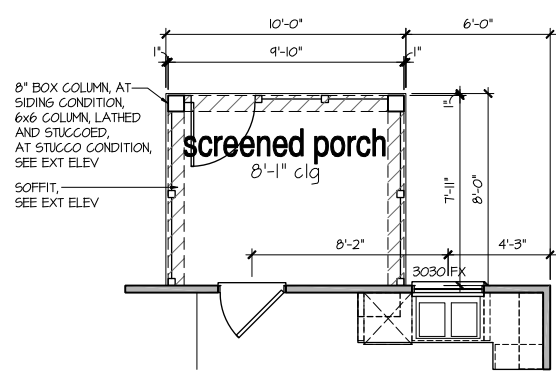
FOR CONSTRUCTION



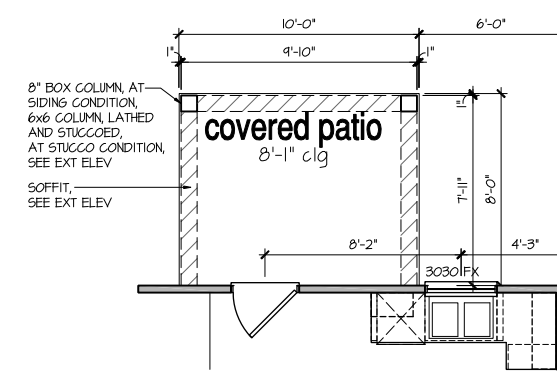
Opt Side Load Garage
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



1st Floor Plan 'A'
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT




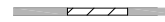


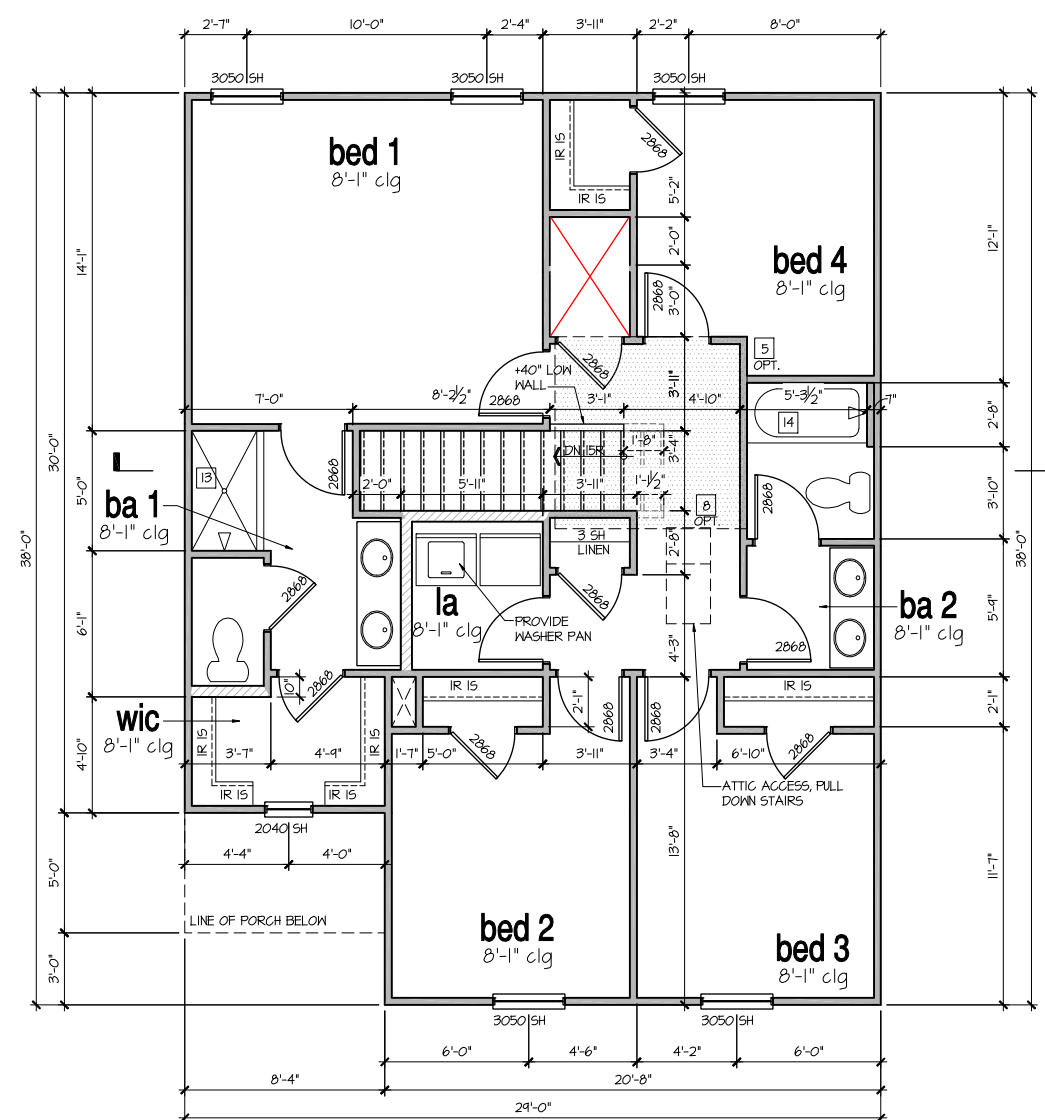
Opt Screened Porch
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



Opt Covered Porch
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT

9'-1" STAIR NOTE:
 (USE 14" TJI WITH 3/4" PLYWOOD SUBFLOOR)
 16 TREADS AT 10" EACH VERIFY
 17 RISERS AT +/- 7.28" = 123 3/4" TOTAL
 RISE VERIFY

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 7'-0" UN.O. ON ELEVATIONS.
 2ND FLOOR = 7'-0" UN.O. ON ELEVATIONS.
 - ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.
- WALL LEGEND:**
- | | |
|---|---|
|  FULL HEIGHT 2X4 WOOD STUD PARTITION |  FULL HEIGHT 2X6 WOOD STUD PARTITION |
|  BRICK / STONE VENEER |  STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED |
|  LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED |  DRYWALL OPENING, HEIGHT AS NOTED ON PLAN. |
- KEY NOTES:**
- FIRE PROTECTION:**
- 1 HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER LOCAL CODES)
 GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. (PER LOCAL CODES)
 - 2 HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER LOCAL CODES)
 - 3 BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER LOCAL CODES)
- MEP'S**
- 4 GAS WATER HEATER ON 18" HIGH PLATFORM. (PER LOCAL CODES)
 - 5 FAU 8'X8' PLATFORM. VERIFY WITH TRUSS MANUFACTURER. (6'-6" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2"X6" OVER 2"X4" BOTTOM CHORD. OF TRUSS, VERIFY W/ TRUSSES.)
 - 6 A/C CONDENSER PAD. (VERIFY)
 - 7 PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 8 ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x22". FIRE RATED ACCESS AS NOTED. (PER LOCAL CODES)
 ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" X 54" SIZE)
- TYPICALS:**
- 9 TEMPERED SAFETY GLASS. (PER LOCAL CODES)
 - 10 PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
 - 11 HALF WALL, HEIGHT AS NOTED.
 - 12 INTERIOR SOFFITS: FFL = 7'-6" UN.O. SFL = 7'-6" UN.O.
- BATHS:**
- 13 SHOWER. TEMPERED GLASS ENCLOSURE.
 - 14 TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE.
 - 15 CERAMIC TILE SHOWER AND FLOOR. TEMPERED GLASS ENCLOSURE.
 - 16 ACRYLIC TUB W/ CERAMIC PLATFORM
- KITCHEN:**
- 17 30" SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 18 30" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 19 ELECTRIC OVEN WITH MICROWAVE OVEN.




2nd Floor Plan 'A'
 SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

NO.	DATE	REVISION
1	01.26.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

CLIENTS NAME:


PROJECT NO: GMD14066

SHEET TITLE:
**'TAYLOR'
 2nd FLOOR
 PLAN '3EFF-A'**

PRINT DATE:
 Nov.15, 2022

FOR CONSTRUCTION

Peavine Crossing description of materials

Exterior Materials

- Combination of Hardie plank, hardie shake, hardie board and batton
- Vinyl Soffit, Fascia, and Cornice

Roofing

30 year lifetime dimensional shingles


Other material specifications can be provided by request.

Peavine Crossing landscape Plan

1 - 25 gal trees (3" min caliper @6" above grade)

2 - 5' Evergreens on each corner of house

9 - 3 gal shrubs

	<p>PLANNING AND ZONING COMMISSION March 7, 2024 STAFF REPORT</p>															
<p>CASE NUMBER</p>	<p>ZONING/REGULATIONS ANALYSIS</p>															
<p>AR-2024-0028</p>	<p>Review of the 3 to 4 bedroom single family homes and the 3 to 4 bedroom townhomes for the Peavine Crossing. The sides are plain with no windows or change in materials.</p>															
<p>PROJECT NAME</p>	<table border="1"> <thead> <tr> <th><i>DIRECTION</i></th> <th><i>ADJACENT LAND USE</i></th> <th><i>ZONING</i></th> </tr> </thead> <tbody> <tr> <td>N</td> <td></td> <td>B-4 Peavine Overlay</td> </tr> <tr> <td>E</td> <td></td> <td>Pelham</td> </tr> <tr> <td>S</td> <td></td> <td>R-6 and R-3 Peavine Overlay</td> </tr> <tr> <td>W</td> <td></td> <td>PCD-1</td> </tr> </tbody> </table>	<i>DIRECTION</i>	<i>ADJACENT LAND USE</i>	<i>ZONING</i>	N		B-4 Peavine Overlay	E		Pelham	S		R-6 and R-3 Peavine Overlay	W		PCD-1
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E		Pelham														
S		R-6 and R-3 Peavine Overlay														
W		PCD-1														
<p>Peavine Crossing Architecture Review</p>	<p>NEXT STEPS IF RECOMMENDED</p>															
<p>SITE DATA</p>	<p>Civil Permit for the construction of the subdivision. Final plat for the subdivision.</p>															
<p>2.43 acres</p>																
<p>REQUEST</p>																
<p>Architectural Review</p>																
<p>ZONING/DISTRICT</p>																
<p>PRD – Planned Residential District)</p>																
<p>COMP PLAN FLUM</p>																
<p></p>																
<p>Parcel ID</p>																
<p>14 9 30 0 000 002.001</p>																
<p>LOCATION</p>																
<p>14 9 30 0 000 002.001</p>																
<p>ENGINEER</p>																
<p></p>																
<p>OWNER/DEVELOPER</p>																
<p>MSC Alabaster LLC</p>																
<p>DESCRIPTION OF USE</p>																
<p>Architectural Review Peavine Crossing.</p>																